

We encourage everyone to view the meeting live via YouTube.

***Leavenworth County  
Board of County Commissioners  
Regular Meeting Agenda***

300 Walnut Street, Suite 225

Leavenworth, KS 66048

June 24, 2026

9:00 a.m.

- I. CALL TO ORDER
- II. PLEDGE OF ALLEGIANCE/MOMENT OF SILENT PRAYER
- III. ROLL CALL
- IV. PUBLIC COMMENT: Public Comment shall be allowed at the beginning of each meeting and opened again at the end of the meeting after all regularly scheduled agenda items. Comments shall be limited to five minutes per person; however, commenters may speak for up to five minutes at both the beginning and end of each meeting. There should be no expectation of interaction by the Commission during this time. Everyone wishing to make comments either on items on the agenda or not are encouraged to provide their comments in writing no later than 8:00 a.m. the Monday immediately preceding the meeting. These comments will be included in the agenda packet for everyone to access and review. This allows the Commission to have time to fully consider input and request follow-up if needed prior to the meeting. During times when the Courthouse is closed to the general public anyone wishing to make public comment will provide their comments in writing no later than 8:00 a.m. the Monday immediately preceding the meeting. The comments will be included and distributed with the normal meeting packet.
- V. ADMINISTRATIVE BUSINESS:
  - a) County Clerk report
- VI. CONSENT AGENDA: The items on the Consent Agenda are considered by staff to be routine business items. Approval of the items may be made by a single motion, seconded, and a majority vote with no separate discussion of any item listed. Should a member of the Governing Body desire to discuss any item, it will be removed from the Consent Agenda and considered separately.

- a) Approval of the minutes of the meeting of June 17, 2026
- b) Approval of the schedule for the week of June 29, 2026
- c) Approval of the check register
- d) Approve and sign the OCB's
- e) Approve Case DEV-26-059/060 Preliminary and Final Plat for Stranger Creek East
- f) Approve Case DEV-26-064 Preliminary and Final Plat for Forge Farms

VII. FORMAL BOARD ACTION:

- a) Consider a motion to find that the proposed final plat as outlined in Case DEV-26-053 is compliant with the County Zoning and Subdivision Regulations and move that the proposed final plat be conditionally approved and accepted by this Board subject to the conditions set forth in the staff report and as adopted by the Planning Commission.
- b) Consider a motion to find that the proposed final plat as outlined in Case DEV-26-070 is compliant with the County Zoning and Subdivision Regulations and move that the proposed final plat be conditionally approved and accepted by this Board subject to the conditions set forth in the staff report and as adopted by the Planning Commission.
- c) Consider a motion to approve an exception to the Monuments, Markers and Commemorations policy.
- d) Consider a motion to approve a bid for a 5-year lease on a John Deere dozer from Murphy Tractor in the amount of \$67,000.83 per year.
- e) Consider a motion to approve a bid for a 5-year lease on a Develon dozer from Central Power Systems & Services in the amount of \$26,285.09 per year.
- f) Consider a motion to approve a bid for a 5-year lease on two John Deere motor graders from Murphy Tractor in the amount of \$70,465.58 per grader per year.

VIII. PRESENTATIONS AND DISCUSSION ITEMS: presentations are materials of general concern where no action or vote is requested or anticipated.

a) Bridge replacements and maintenance discussion

b) Executive session if needed

IX. ADDITIONAL PUBLIC COMMENT

X. ADJOURNMENT

# **LEAVENWORTH COUNTY COMMISSIONERS MEETING SCHEDULE**

**Monday, June 22, 2026**

**Tuesday, June 23, 2026**

**Wednesday, June 24, 2026**

9:00 a.m. Leavenworth County Commission meeting  
• Commission Meeting Room, 300 Walnut, Leavenworth KS

**Thursday, June 25, 2026**

**Friday, June 26, 2026**

ALL SUCH OTHER BUSINESS THAT MAY COME BEFORE THE COMMISSION

ALL MEETINGS ARE OPEN TO THE PUBLIC

COMMENTS SHOULD BE OF GENERAL INTEREST OF THE PUBLIC AND SUBJECT TO THE RULES OF DECORUM

\*\*\*\*\*June 17, 2026\*\*\*\*\*

The Board of County Commissioners met in regular session on Wednesday, June 17, 2026. Commissioner Smith, Commissioner Culbertson, Commissioner Reid, Commissioner Dove and Commissioner Stieben are present; Also present: Mark Loughry, County Administrator; Misty Brown, County Counselor

**PUBLIC COMMENT:**

Jim Karleskint, Dee Karleskint, Kim Colbert, Rebecca Davis, Ted Grinter, Mary Bowes, Tammy Patton, Brooklyn Patton, Brian Morley, Nancy Carpenter, Richard Paz, Tyler Carpenter, Kevin Finch and Lisa Hagge commented.

**ADMINISTRATIVE BUSINESS:**

Mark Loughry addressed a public comment regarding Leavenworth County's bid process.

Commissioner Stieben inquired about additional communication between staff and the city of Leavenworth regarding the Transfer Station.

Mr. Loughry indicated the Board previously voted to not proceed.

Commissioner Stieben inquired if a discussion regarding a memorial for Mr. Wrigley in Alexandria Township could be placed on the agenda.

Commissioner Stieben voiced concerns about AI.

Commissioner Reid requested the costs of lawsuits in the last 8 years.

Commissioner Stieben read a proclamation recognizing Juneteenth.

Commissioner Stieben requested to remove item F from the consent agenda for further discussion.

***A motion was made by Commissioner Culbertson and seconded by Commissioner Smith to accept the consent agenda for Wednesday, June 17, 2026 less item F.***

***Motion passed, 5-0.***

Misty Brown addressed questions regarding Resolution 2026-7, special use permit for Kaw Valley, LLC.

***A motion was made by Commissioner Smith and seconded by Commissioner Reid to approve Resolution 2026-7, conditionally issuing a special use permit for Kaw Valley Companies, Inc. for a sand excavation and stockpiling operation.***

***Motion passed, 3-2 Commissioner Stieben and Smith voting nay.***

Ms. Brown presented a development and road improvement agreement between Kaw Valley and Leavenworth County.

***A motion was made by Commissioner Culbertson and seconded by Commissioner Smith to approve the development and road improvement agreement between Kaw Valley Inc. and the County.***

***Motion passed, 4-1 Commissioner Stieben voting nay.***

Mr. Loughry provided information on data center potential property tax impact and community benefit.

Byron McFee, Richard Paz, Dee Karleskint, Wes Baker, Annette Holton commented.

***A motion was made by Commissioner Smith and seconded by Commissioner Stieben to adjourn.***

***Motion passed, 5-0.***

The Board adjourned at 12:10 p.m.

# **LEAVENWORTH COUNTY COMMISSIONERS MEETING SCHEDULE**

**Monday, June 29, 2026**

**Tuesday, June 30, 2026**

8:30 a.m. International Military Officers Honorary Citizen's Day  
• Riverfront Community Center, 123 S. Esplanade, Leavenworth, KS

**Wednesday, July 1, 2026**

9:00 a.m. Leavenworth County Commission meeting  
• Commission Meeting Room, 300 Walnut, Leavenworth KS

**Thursday, July 2, 2026**

**Friday, July 3, 2026 THE COURTHOUSE WILL BE CLOSED IN OBSERVANCE OF INDEPENDENCE DAY**

ALL SUCH OTHER BUSINESS THAT MAY COME BEFORE THE COMMISSION

ALL MEETINGS ARE OPEN TO THE PUBLIC

COMMENTS SHOULD BE OF GENERAL INTEREST OF THE PUBLIC AND SUBJECT TO THE RULES OF DECORUM

START DATE: 06/12/2026 END DATE: 06/18/2026

TYPES OF CHECKS SELECTED: \* ALL TYPES  
 CHECK RANGE SELECTED: \* No Check Range Selected

WARRANT NUMBER	CHK TYPE	WARRANT DATE	VEND #/ PCH DOC #	VENDOR NAME/ ACCOUNT NUMBER	DESCRIPTION	AMOUNT	TOTAL
842		06/16/2026	2	WATER DEPT			
			141871	6-001-5-05-215	WATER 05072026 06052026	77.44	
			141872	6-001-5-05-215	WATER SERVICE DATES 0429 0528	89.88	
			141832	6-001-5-14-220	300 WALNUT ST 05/28	1,379.91	
			141839	6-001-5-32-392	514 S 2ND ST	22.00	
			141840	6-001-5-33-392	711 MARSHALL ST	118.53	
			141840	6-001-5-33-392	711 MARSHALL ST	515.56	
			141834	6-195-5-00-290	COMM CORR 520 S 3RD ST	97.46	
					WARRANT TOTAL		2,300.78
843		06/16/2026	57	VERTIV SERVICES, INC			
			141883	6-174-5-00-210	UPS SERVICES CONTRACT TO ALL T	7,581.70	
					WARRANT TOTAL		7,581.70
844		06/16/2026	70	FREESTATE ELECTRIC COOPERATIVE			
			141833	6-001-5-14-220	725 LAMING RD	818.89	
			141799	6-133-5-00-251	18673 MCLOUTH RD TONGIE QUARRY	86.77	
					WARRANT TOTAL		905.66
845		06/16/2026	858	ENTERPRISE FM TRUST			
			141912	6-115-5-00-408	LEASE VEHICLES 5 SHERIFF	3,409.22	
					WARRANT TOTAL		3,409.22
846		06/16/2026	1123	POMP'S TIRE SERVICE INC			
			141822	6-137-5-00-321	TIRES	705.00	
					WARRANT TOTAL		705.00
847		06/16/2026	4648	WASTE MANAGEMENT			
			141868	6-001-5-05-215	2 YARD UMPSTER ST 2	287.97	
					WARRANT TOTAL		287.97
848		06/16/2026	8103	CHARTER COMMUNICATIONS			
			141860	6-001-5-18-213	COMMUNICATIONS	2,217.13	
					WARRANT TOTAL		2,217.13
849		06/16/2026	8416	IRON MOUNTAIN INC			
			141907	6-001-5-11-208	MAY SHREDDING	26.00	
			141920	6-001-5-19-220	SHREDDING MAY	187.12	
			141849	6-145-5-00-208	MAY SHREDDING	69.38	
					WARRANT TOTAL		282.50
850		06/16/2026	8686	EVERGY KANSAS CENTRAL INC			
			141913	6-001-5-53-219	23674 187TH ST	234.52	
			141838	6-212-5-00-2	ELECTRIC SERVICES	197.18	
			141838	6-212-5-00-2	ELECTRIC SERVICES	33.39	
			141838	6-212-5-00-2	ELECTRIC SERVICES	36.03	
			141838	6-212-5-00-2	ELECTRIC SERVICES	87.92	
			141837	6-218-5-00-2	18242 165TH ST BONNER SPRINGS	114.72	
					WARRANT TOTAL		703.76
851		06/17/2026	276	WEX BANK			
			141932	6-001-5-11-253	FUEL CARDS MAY	150.95	
			141932	6-001-5-12-304	FUEL CARDS MAY	168.97	
			141932	6-001-5-14-331	FUEL CARDS MAY	8,638.27	
			141932	6-001-5-14-332	FUEL CARDS MAY	4,810.05	
			141932	6-001-5-14-334	FUEL CARDS MAY	387.20	
			141932	6-001-5-14-335	FUEL CARDS MAY	58.65	
			141932	6-001-5-14-901	FUEL CARDS MAY	153.86	
			141932	6-108-5-00-304	FUEL CARDS MAY	53.18	

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WARRANT NUMBER	CHK TYPE	WARRANT DATE	VEND #/ PCH DOC #	VENDOR NAME/ ACCOUNT NUMBER	DESCRIPTION	AMOUNT	TOTAL
			141932	6-108-5-00-601	FUEL CARDS MAY	1.09	
			141932	6-108-5-00-610	FUEL CARDS MAY	.75	
			141932	6-127-5-00-3	FUEL CARDS MAY	55.60	
			141932	6-133-5-00-304	FUEL CARDS MAY	390.35	
			141932	6-138-5-00-227	FUEL CARDS MAY	53.52	
			141932	6-145-5-00-304	FUEL CARDS MAY	5,545.07	
					WARRANT TOTAL		20,159.79
852		06/17/2026	829	THOMSON REUTERS - WEST			
			141942	6-001-5-11-210	WEST INFORMATION CHARGES	1,187.17	
					WARRANT TOTAL		1,187.17
853		06/17/2026	6055	FLEETHOSTER			
			141931	6-001-5-05-271	MAY FLEETHOSTER	100.00	
			141931	6-001-5-06-222	MAY FLEETHOSTER	19.95	
			141931	6-001-5-11-271	MAY FLEETHOSTER	19.95	
			141931	6-001-5-31-230	MAY FLEETHOSTER	59.85	
			141931	6-001-5-41-271	MAY FLEETHOSTER	100.00	
			141931	6-001-5-53-220	MAY FLEETHOSTER	99.75	
			141931	6-108-5-00-213	MAY FLEETHOSTER	39.90	
			141931	6-127-5-00-2	MAY FLEETHOSTER	20.00	
			141931	6-133-5-00-229	MAY FLEETHOSTER	998.75	
			141931	6-136-5-00-221	MAY FLEETHOSTER	40.00	
			141931	6-137-5-00-229	MAY FLEETHOSTER	320.00	
			141931	6-145-5-00-230	MAY FLEETHOSTER	618.75	
			141931	6-160-5-00-215	MAY FLEETHOSTER	119.80	
					WARRANT TOTAL		2,556.70
854		06/17/2026	516725	ENTERPRISE FM TRUST			
			141933	6-001-5-05-271	ENTERPRISE FOR MAY	4,376.51	
			141933	6-001-5-06-222	ENTERPRISE FOR MAY	315.52	
			141933	6-001-5-11-271	ENTERPRISE FOR MAY	385.26	
			141933	6-001-5-31-230	ENTERPRISE FOR MAY	2,692.00	
			141933	6-001-5-41-271	ENTERPRISE FOR MAY	686.96	
			141933	6-001-5-53-220	ENTERPRISE FOR MAY	2,335.12	
			141933	6-126-5-00-221	ENTERPRISE FOR MAY	14.77	
			141933	6-133-5-00-229	ENTERPRISE FOR MAY	13,462.23	
			141933	6-136-5-00-221	ENTERPRISE FOR MAY	130.50	
			141933	6-145-5-00-230	ENTERPRISE FOR MAY	15,039.95	
			141933	6-160-5-00-215	ENTERPRISE FOR MAY	1,149.88	
					WARRANT TOTAL		40,588.70
*1849	AP	06/17/2026	1094	ACKERLAUD ACRES LIVING TRUST			
			141926	6-171-5-08-301	PERMANENT EASEMENT, TEMP FENCE	6,890.00	
			141926	6-171-5-08-301	PERMANENT EASEMENT, TEMP FENCE	31,655.00	
					WARRANT TOTAL		38,545.00
1850	AP	06/17/2026	1092	MARY ELIZABETH HARSH			
			141925	6-171-5-08-301	PERMANENT EASEMENT	3,502.00	
					WARRANT TOTAL		3,502.00
1851	AP	06/17/2026	1093	HAROLD B HEIM & SANDRA L HEIM			
			141927	6-171-5-08-301	PERMANENT EASEMENT, TEMP FENCE	6,525.00	
			141927	6-171-5-08-301	PERMANENT EASEMENT, TEMP FENCE	25,842.00	
					WARRANT TOTAL		32,367.00
1852	AP	06/17/2026	1095	CHARLEES C LOHMAN			

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WARRANT NUMBER	CHK TYPE	WARRANT DATE	VEND #/ PCH DOC #	VENDOR NAME/ ACCOUNT NUMBER	DESCRIPTION	AMOUNT	TOTAL
			141928	6-171-5-08-301	PERMANENT EASEMENT, TEMP FENCE	4,948.00	
			141928	6-171-5-08-301	PERMANENT EASEMENT, TEMP FENCE	5,678.00	
					WARRANT TOTAL		10,626.00
1853	AP	06/17/2026	122	PFEFFERKORN ENGINEERING & ENVI			
			141924	6-171-5-04-201	52 5250 01 235THST PROFESSIONA	22,996.35	
					WARRANT TOTAL		22,996.35
*120359	AP	06/16/2026	4120	AAA LAUNDRY & LINEN SUPPLY CO			
			141821	6-001-5-53-215	UNIFORM RENTALS	107.46	
			141821	6-001-5-53-215	UNIFORM RENTALS	107.46	
			141818	6-133-5-00-215	UNIFORM RENTALS 6/08	354.83	
			141818	6-133-5-00-215	UNIFORM RENTALS 6/08	354.83	
			141818	6-133-5-00-312	UNIFORM RENTALS 6/08	260.48	
			141818	6-133-5-00-312	UNIFORM RENTALS 6/08	260.48	
			141825	6-137-5-00-203	UNIFORM RENTALS 06/08	103.62	
			141825	6-137-5-00-203	UNIFORM RENTALS 06/08	103.62	
					WARRANT TOTAL		1,652.78
120360	AP	06/16/2026	1513	ADVANCED AUTOMOTIVE			
			141873	6-001-5-05-213	MAINTENANCE AND SUPPLIES	6,350.00	
			141873	6-001-5-05-306	MAINTENANCE AND SUPPLIES	5,137.65	
			141875	6-108-5-00-601	4 TRAILER WHEELS	1,475.58	
					WARRANT TOTAL		12,963.23
120361	AP	06/16/2026	20588	ADVANTAGE PRINTING			
			141887	6-001-5-49-350	AUGUST PRIMARY BOOK	158.00	
					WARRANT TOTAL		158.00
120362	AP	06/16/2026	282	AITKENS CONTRACTING LLC			
			141830	6-001-5-31-290	300 WALNUT CONTROLLER	85.00	
					WARRANT TOTAL		85.00
120363	AP	06/16/2026	1068	ALL TEMP, INC.			
			141894	6-001-5-33-209	711 MARSHALLL	3,200.00	
					WARRANT TOTAL		3,200.00
120364	AP	06/16/2026	249	ATCHISON HOSPITAL			
			141864	6-001-5-07-206	NEW EMPLOYEE TESTING X3	767.00	
			141857	6-001-5-28-212	DRUG SCREEN, PT TEST, BREATH A	135.00	
			141857	6-001-5-28-212	DRUG SCREEN, PT TEST, BREATH A	285.00	
			141857	6-001-5-28-212	DRUG SCREEN, PT TEST, BREATH A	56.00	
					WARRANT TOTAL		1,243.00
120365	AP	06/16/2026	1737	AT&T			
			141858	6-174-5-00-210	LEAVENWORTH AND FORT LEAVENWOR	78.74	
			141858	6-174-5-00-210	LEAVENWORTH AND FORT LEAVENWOR	78.74	
					WARRANT TOTAL		157.48
120366	AP	06/16/2026	1070	ATLAS LAND CONSULTING LLC			
			141846	6-220-5-16-400	A 07 BRIDGE INSPECTION	855.00	
					WARRANT TOTAL		855.00
120367	AP	06/16/2026	1646	KANSAS ATTORNEY GENERAL			
			141917	6-001-5-11-240	CONTRACT FOR PREPARATION OF AL	46,805.00	
					WARRANT TOTAL		46,805.00
120368	AP	06/16/2026	917	WILLIAM BECK			
			141898	6-001-5-31-290	COURTHOUSE CHILLER	1,368.14	
					WARRANT TOTAL		1,368.14
120369	AP	06/16/2026	26521	BRUNSON BUILDERS INC			

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WARRANT NUMBER	CHK TYPE	WARRANT DATE	VEND #/ PCH DOC #	VENDOR NAME/ ACCOUNT NUMBER	DESCRIPTION	AMOUNT	TOTAL
			141817	6-133-5-00-440	REPAIR OF COLUMNS IN SHOP ROOM	1,500.00	
					WARRANT TOTAL		1,500.00
120370	AP	06/16/2026	1938	CATERPILLAR FINANCIAL SVC CORP			
			141829	6-155-5-00-4	CAT 140 15AWD 15 08 AND 15 09	70,441.36	
			141829	6-155-5-00-4	CAT 140 15AWD 15 08 AND 15 09	70,441.36	
					WARRANT TOTAL		140,882.72
120371	AP	06/16/2026	24545	CDW GOVERNMENT INC			
			141903	6-115-5-00-409	WIRELESS HDMI TRANS	234.00	
			141905	6-115-5-00-409	APC REPL BATT 100RM2U	376.20	
			141816	6-133-5-00-211	BLUEBEAM REVU FOR DAN BAUMCHEN	365.00	
					WARRANT TOTAL		975.20
120372	AP	06/16/2026	28831	CE WATER MANAGEMENT INC			
			141899	6-001-5-31-290	QUARTERLY WATER TREATMENT CONT	85.00	
			141899	6-001-5-32-268	QUARTERLY WATER TREATMENT CONT	130.00	
			141899	6-001-5-33-268	QUARTERLY WATER TREATMENT CONT	195.00	
					WARRANT TOTAL		410.00
120373	AP	06/16/2026	5447	CITY WIDE MAINTENANCE			
			141896	6-001-5-32-296	JC JANITORIAL SERVICES	6,250.00	
					WARRANT TOTAL		6,250.00
120374	AP	06/16/2026	5637	CLEARWATER ENTERPRISES,LLC			
			141836	6-001-5-33-392	711 MARSHALL ST	73.21	
			141836	6-001-5-33-392	711 MARSHALL ST	17.64	
			141800	6-133-5-00-304	GAS FOR COUNTY SHOP	23.51	
			141835	6-195-5-00-290	20642 0321A77493 216 WALNUT ST	5.88	
					WARRANT TOTAL		120.24
120375	AP	06/16/2026	559	CLAY E COBURN III			
			141848	6-145-5-00-213	VEHICLE FLEET WASHES	34.94	
					WARRANT TOTAL		34.94
120376	AP	06/16/2026	21300	ROBERT BEDNAR			
			141854	6-001-5-19-213	2026 ATTY REGISTRATION FEE	250.00	
					WARRANT TOTAL		250.00
120377	AP	06/16/2026	21300	PATRICK HENDERSON			
			141919	6-001-5-19-213	NJC RENO GEN JURISDICTION COUR	1,468.16	
					WARRANT TOTAL		1,468.16
120378	AP	06/16/2026	475	DSG EQUIPMENT & SUPPLIES			
			141814	6-133-5-00-360	ROCKER SWITCH	56.75	
			141814	6-133-5-00-360	ROCKER SWITCH	82.94	
					WARRANT TOTAL		139.69
120379	AP	06/16/2026	446	EQUIPMENT SHARE INC			
			141824	6-137-5-00-320	CASE SOLEMOID AND RING SNAPS	462.62	
			141824	6-137-5-00-320	CASE SOLEMOID AND RING SNAPS	206.57	
					WARRANT TOTAL		669.19
120380	AP	06/16/2026	1227	EVANS REAL ESTATE CO			
			141906	6-001-5-14-224	BOND MIKE STIEBEN	100.00	
					WARRANT TOTAL		100.00
120381	AP	06/16/2026	119	FINNEY & TURNIPSEED TRANSPORTA			
			141827	6-220-5-02-400	ENGINEERING SERVICES	41,949.68	
					WARRANT TOTAL		41,949.68
120382	AP	06/16/2026	2410	FIRST CALL INC			
			141874	6-001-5-13-211	TRANSPORTATION AND BAGS	125.00	

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WARRANT NUMBER	CHK TYPE	WARRANT DATE	VEND #/ PCH DOC #	VENDOR NAME/ ACCOUNT NUMBER	DESCRIPTION	AMOUNT	TOTAL
			141874	6-001-5-13-211	TRANSPORTATION AND BAGS	125.00	
			141874	6-001-5-13-211	TRANSPORTATION AND BAGS	125.00	
			141874	6-001-5-13-211	TRANSPORTATION AND BAGS	125.00	
			141874	6-001-5-13-211	TRANSPORTATION AND BAGS	125.00	
			141874	6-001-5-13-211	TRANSPORTATION AND BAGS	125.00	
			141874	6-001-5-13-211	TRANSPORTATION AND BAGS	250.00	
					WARRANT TOTAL		1,000.00
120383	AP	06/16/2026	738	ALVIN LECOUNT			
			141904	6-001-5-18-220	PROFESSIONAL SERVICES	250.00	
					WARRANT TOTAL		250.00
120384	AP	06/16/2026	2588	FOLEY EQUIPMENT			
			141810	6-133-5-00-227	TROUBLESHOOT FASULT CODES	3,103.87	
			141810	6-133-5-00-227	TROUBLESHOOT FASULT CODES	3,767.50	
					WARRANT TOTAL		6,871.37
120385	AP	06/16/2026	992	FOUR CORNER SOLUTIONS LLC			
			141867	6-001-5-07-301	5 TONERS @ 119.99	599.95	
					WARRANT TOTAL		599.95
120386	AP	06/16/2026	774	G W VAN KEPPEL			
			141809	6-133-5-00-360	GLAND PACKING RING	226.86	
					WARRANT TOTAL		226.86
120387	AP	06/16/2026	758	THE GUARDIAN LIFE INSURANCE CO			
			141910	6-510-2-00-944	SHORT TERM DISABILITY, GUARDIA	2,791.32	
			141910	6-510-2-00-958	SHORT TERM DISABILITY, GUARDIA	7,602.81	
			141910	6-510-2-00-961	SHORT TERM DISABILITY, GUARDIA	5,184.58	
					WARRANT TOTAL		15,578.71
120388	AP	06/16/2026	28526	THE GUIDANCE CENTER (TRAINING			
			141845	6-135-5-00-201	MAY 2026 SALARY AND FRINGE FOR	1,525.13	
					WARRANT TOTAL		1,525.13
120389	AP	06/16/2026	543	HEARTLAND REGIONAL ALCOHOL AND			
			141844	6-136-5-00-207	DRUG AND ALCOHOL TREATMENT	200.00	
					WARRANT TOTAL		200.00
120390	AP	06/16/2026	23163	RADIOMETER AMERICA INC DIV:HEM			
			141876	6-108-5-00-606	CUVETTES SHIPPING AND SURCHARG	282.00	
			141876	6-108-5-00-606	CUVETTES SHIPPING AND SURCHARG	35.00	
			141876	6-108-5-00-606	CUVETTES SHIPPING AND SURCHARG	18.82	
					WARRANT TOTAL		335.82
120391	AP	06/16/2026	3621	HERITAGE-CRYSTAL CLEAN,LLC			
			141815	6-133-5-00-310	USED OIL PICKUP	371.50	
					WARRANT TOTAL		371.50
120392	AP	06/16/2026	2628	IMAGETREND, INC			
			141870	6-001-5-05-220	ELITE EMS HOSTING	5,913.23	
					WARRANT TOTAL		5,913.23
120393	AP	06/16/2026	236	INTERPRETERS INC			
			141863	6-001-5-19-221	INTERPRETERS 0601 0603 0605 06	801.20	
					WARRANT TOTAL		801.20
120394	AP	06/16/2026	966	ATCHISON AUTO PARTS LLC DBA NA			
			141807	6-133-5-00-312	TOWELS, MIRROR, HYD HOSE, HOOD	48.87	
			141807	6-133-5-00-360	TOWELS, MIRROR, HYD HOSE, HOOD	34.75	
			141807	6-133-5-00-360	TOWELS, MIRROR, HYD HOSE, HOOD	99.16	
			141807	6-133-5-00-360	TOWELS, MIRROR, HYD HOSE, HOOD	137.38	

START DATE: 06/12/2026 END DATE: 06/18/2026

TYPES OF CHECKS SELECTED: \* ALL TYPES  
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WARRANT NUMBER	CHK TYPE	WARRANT DATE	VEND #/ PCH DOC #	VENDOR NAME/ ACCOUNT NUMBER	DESCRIPTION	AMOUNT	TOTAL
			141823	6-137-5-00-320	OIL SEAL, HOSE FITTINGS,	12.12-	
			141823	6-137-5-00-320	OIL SEAL, HOSE FITTINGS,	266.55	
			141823	6-137-5-00-320	OIL SEAL, HOSE FITTINGS,	215.40	
					WARRANT TOTAL		789.99
120395	AP	06/16/2026	66366	KANSAS GAS SERVICE			
			141869	6-001-5-05-215	SERVICE DATES 4/30- JUNE 2	65.82	
					WARRANT TOTAL		65.82
120396	AP	06/16/2026	1851	KANSAS ONE-CALL SYSTEM INC			
			141902	6-212-5-00-2	12 LOCATE TICKETS	15.96	
					WARRANT TOTAL		15.96
120397	AP	06/16/2026	1842	KONE INC			
			141895	6-001-5-31-220	ELEVATOR MAINTENANCE COVERAGE	129.86	
			141895	6-001-5-32-262	ELEVATOR MAINTENANCE COVERAGE	519.46	
			141895	6-001-5-33-262	ELEVATOR MAINTENANCE COVERAGE	1,179.86	
					WARRANT TOTAL		1,829.18
120398	AP	06/16/2026	7258	L & R REFRIGERATION SERVICE CO			
			141881	6-160-5-00-208	REFRIGENT RECOVERY	385.00	
					WARRANT TOTAL		385.00
120399	AP	06/16/2026	1351	LEAVENWORTH ASPHALT MATERIALS			
			141808	6-133-5-00-362	ASPHALT AND SEAL	30,208.10	
			141808	6-133-5-00-362	ASPHALT AND SEAL	987.35	
			141808	6-133-5-00-362	ASPHALT AND SEAL	34,177.65	
			141808	6-133-5-00-362	ASPHALT AND SEAL	203.39	
			141808	6-133-5-00-362	ASPHALT AND SEAL	30,695.64	
			141808	6-133-5-00-362	ASPHALT AND SEAL	33,884.24	
					WARRANT TOTAL		130,156.37
120400	AP	06/16/2026	461	LEAV CO COOP			
			141880	6-160-5-00-304	AFD DYED DIESEL	2,178.45	
					WARRANT TOTAL		2,178.45
120401	AP	06/16/2026	382	CHRISTOPHER WILLIAM DAVID LYON			
			141915	6-001-5-11-202	MILEAGE, TRAINING AND MEALS	472.50	
			141915	6-001-5-11-205	MILEAGE, TRAINING AND MEALS	1,795.10	
			141915	6-001-5-11-211	MILEAGE, TRAINING AND MEALS	252.00	
					WARRANT TOTAL		2,519.60
120402	AP	06/16/2026	1991	MID-AMERICA REGIONAL COUNCIL			
			141859	6-174-5-00-210	MARC 911 EQUIPMENT	33,263.55	
					WARRANT TOTAL		33,263.55
120403	AP	06/16/2026	2419	MCKESSON MEDICAL SURGICAL			
			141888	6-001-5-07-219	MEDICAL SUPPLIES INMATE HEALTH	525.97	
			141888	6-001-5-07-219	MEDICAL SUPPLIES INMATE HEALTH	230.01	
					WARRANT TOTAL		755.98
120404	AP	06/16/2026	17197	MIAMI COUNTY ATTORNEY			
			141892	6-001-5-19-222	REVIEW FEE 2021 CT 083 AJR	50.00	
					WARRANT TOTAL		50.00
120405	AP	06/16/2026	13900	MID-CONTINENTAL RESTORATION CO			
			141831	6-215-5-14-401	COURTHOUSE EXT REPAIRS	4,400.00	
					WARRANT TOTAL		4,400.00
120406	AP	06/16/2026	2059	MIDWEST OFFICE TECHNOLOGY INC			
			141850	6-001-5-07-208	CANON 4QS028554	60.92	
			141877	6-198-5-18-301	CANON IRA3926	108.68	

START DATE: 06/12/2026 END DATE: 06/18/2026

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WARRANT NUMBER	CHK TYPE	WARRANT DATE	VEND #/ PCH DOC #	VENDOR NAME/ ACCOUNT NUMBER	DESCRIPTION	AMOUNT	TOTAL
					WARRANT TOTAL		169.60
120407	AP	06/16/2026	2666 141801 141801	DUSTIN ZULE 6-133-5-00-203 6-133-5-00-203	REIMB OF CDL EXAM CLASS B AND REIMB OF CDL EXAM CLASS B AND	41.00 10.00	
					WARRANT TOTAL		51.00
120408	AP	06/16/2026	2666 141811	ZACH EVANS 6-133-5-00-364	SAFETY BOOT REIMBURSEMENT	165.00	
					WARRANT TOTAL		165.00
120409	AP	06/16/2026	2666 141812	MIA ERNZEN 6-133-5-00-364	SAFETY BOOTS REIMBURSEMENT	165.00	
					WARRANT TOTAL		165.00
120410	AP	06/16/2026	2666 141885	TRAVIS HUNSECKER 6-001-5-41-202	MEALS FOR KCAA IN PITTSBURG	38.00	
					WARRANT TOTAL		38.00
120411	AP	06/16/2026	2666 141886 141886	ROBERT WEBER 6-001-5-41-202 6-001-5-41-202	REIMBURSEMENT FOR HOTEL STAY F REIMBURSEMENT FOR HOTEL STAY F	231.08 38.00	
					WARRANT TOTAL		269.08
120412	AP	06/16/2026	2666 141914 141914	NICHOLAS CAMPBELL 6-001-5-11-202 6-001-5-11-211	TRAVELA ND TRAINING TRAVELA ND TRAINING	666.89 331.40	
					WARRANT TOTAL		998.29
120413	AP	06/16/2026	989 141856 141856 141856 141856 141856	MODRN HEALTH, INC 6-112-5-00-256 6-112-5-00-256 6-112-5-00-256 6-112-5-00-256 6-112-5-00-256	MOD RN MOD RN MOD RN MOD RN MOD RN	18,450.00 1,760.00 860.00 63.01 1,456.19	
					WARRANT TOTAL		22,589.20
120414	AP	06/16/2026	24 141806	NATL SIGN CO INC 6-133-5-00-363	SIGN MATERIAL	27,333.15	
					WARRANT TOTAL		27,333.15
120415	AP	06/16/2026	578 141921	NORFOLK CONTRACTING INC 6-220-5-16-400	BASIC SERVICES CONSTRUCTION IN	249,585.23	
					WARRANT TOTAL		249,585.23
120416	AP	06/16/2026	60 141820	NUTRIEN AG SOLUTIONS, INC 6-001-5-53-305	PLATEAU EXCORT XP	3,085.60	
					WARRANT TOTAL		3,085.60
120417	AP	06/16/2026	11799 141922	O'REILLY AUTOMOTIVE 6-137-5-00-320	PARTS	626.89	
					WARRANT TOTAL		626.89
120418	AP	06/16/2026	196 141909	OLSSON, INC 6-001-5-06-206	PROFESSIONAL SERVICES 05092026	3,781.36	
					WARRANT TOTAL		3,781.36
120419	AP	06/16/2026	3 141916	LEAVENWORTH COUNTY PUBLIC WORK 6-001-5-11-253	MAINTENANCE FOR 1200 CHEVY TRA	89.24	
					WARRANT TOTAL		89.24
120420	AP	06/16/2026	1280 141882	U S POSTMASTER 6-001-5-49-302	ACCT 479464 BRM INVOICE TYPE B	1,000.00	
					WARRANT TOTAL		1,000.00

START DATE: 06/12/2026 END DATE: 06/18/2026

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WARRANT NUMBER	CHK TYPE	WARRANT DATE	VEND #/ PCH DOC #	VENDOR NAME/ ACCOUNT NUMBER	DESCRIPTION	AMOUNT	TOTAL
120421	AP	06/16/2026	418 141805	PENSKE COMMERCIAL VEHICLES US 6-133-5-00-360	O RINGS AC HOSES	247.43	
					WARRANT TOTAL		247.43
120422	AP	06/16/2026	1485 141855 141855	RELIANCE STANDARD 6-510-2-00-962 6-510-2-00-965	GROUP LIFE AND VOLUNTARY LIKFE GROUP LIFE AND VOLUNTARY LIKFE	1,585.84 2,838.58	
					WARRANT TOTAL		4,424.42
120423	AP	06/16/2026	458 141900 141819 141900 141908 141908 141908 141819	LEAV CO PUBLIC WORKS 6-001-5-14-333 6-001-5-14-336 6-001-5-31-320 6-001-5-41-213 6-001-5-41-213 6-001-5-41-213 6-001-5-53-308	FUEL AND REPAIRS FUEL AND PARTS FUEL AND REPAIRS OIL CHANGE OIL CHANGE OIL CHANGE FUEL AND PARTS	1,134.80 657.26 10.92 649.99 93.33 57.00- 253.76	
					WARRANT TOTAL		2,743.06
120424	AP	06/16/2026	632 141852 141852	RURAL WATER DIST NO 8 6-133-5-00-214 6-133-5-00-214	WATER METER LCO SHOP 1 AND 2 WATER METER LCO SHOP 1 AND 2	139.21 375.84	
					WARRANT TOTAL		515.05
120425	AP	06/16/2026	1091 141865	MABCD,COUNTY OF SEDGWICK 6-001-5-07-218	BOARD BILL FOR LVCO 22 DAYS &	770.00	
					WARRANT TOTAL		770.00
120426	AP	06/16/2026	6148 141878 141878 141878 141878 141878 141878 141878 141878 141878	LEAV CO SHERIFF DEPT 6-001-5-12-216 6-001-5-12-216 6-001-5-12-216 6-001-5-12-216 6-001-5-12-216 6-001-5-12-216 6-001-5-12-216 6-001-5-12-216 6-001-5-12-216 6-001-5-12-216	PHONE SERVICE PHONE SERVICE PHONE SERVICE PHONE SERVICE PHONE SERVICE PHONE SERVICE PHONE SERVICE PHONE SERVICE PHONE SERVICE PHONE SERVICE	26.60 29.71 9.29 28.35 26.60 27.86 28.35 26.60	
					WARRANT TOTAL		203.36
120427	AP	06/16/2026	1708 141843 141842 141842	LEAV CO SHERIFF-SECURITY 6-126-5-00-224 6-136-5-00-205 6-136-5-00-245	SECURITY APRIL, MAY AND JUNE SECURITY APRIL, MAY, JUNE SECURITY APRIL, MAY, JUNE	579.20 289.60 289.59	
					WARRANT TOTAL		1,158.39
120428	AP	06/16/2026	915 141901 141901 141901	SMITHEREEN PEST MANAGEMENT 6-001-5-31-212 6-001-5-32-211 6-001-5-33-211	PEST CONTROL PEST CONTROL PEST CONTROL	659.00 100.00 125.00	
					WARRANT TOTAL		884.00
120429	AP	06/16/2026	870 141853	SPX AIDS TO NAVIGATION, INC 6-174-5-00-210	EISENHOWER TOWER SITE REPLACEM	5,538.38	
					WARRANT TOTAL		5,538.38
120430	AP	06/16/2026	6575 141911	STERICYCLE, INC 6-001-5-07-359	MEDICAL WASTE REMOVAL	223.10	
					WARRANT TOTAL		223.10
120431	AP	06/16/2026	248	ELIOR, INC			

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WARRANT NUMBER	CHK TYPE	WARRANT DATE	VEND #/ PCH DOC #	VENDOR NAME/ ACCOUNT NUMBER	DESCRIPTION	AMOUNT	TOTAL
			141866	6-001-5-07-261	INMATE MEALS MAY 16 JUNE 05	6,521.24	
			141866	6-001-5-07-261	INMATE MEALS MAY 16 JUNE 05	6,607.30	
			141866	6-001-5-07-261	INMATE MEALS MAY 16 JUNE 05	6,746.84	
					WARRANT TOTAL		19,875.38
120432	AP	06/16/2026	113	SUMNERONE INC			
			141841	6-001-5-19-204	COPIER CLICKS	140.56	
			141828	6-001-5-42-301	CANON C39261	80.61	
					WARRANT TOTAL		221.17
120433	AP	06/16/2026	10703	TIRE TOWN			
			141861	6-160-5-00-207	SCRAP TIRE RECYLCE	650.00	
					WARRANT TOTAL		650.00
120434	AP	06/16/2026	668	TIREHUB INC			
			141804	6-133-5-00-309	TIRES	906.78	
					WARRANT TOTAL		906.78
120435	AP	06/16/2026	22972	TRANSFER STATION			
			141897	6-001-5-32-297	JC TRASH	115.00	
			141897	6-001-5-32-297	JC TRASH	114.00	
					WARRANT TOTAL		229.00
120436	AP	06/16/2026	890	TREANORHL, INC			
			141893	6-215-5-14-401	LVCO EXTERIOR	2,036.25	
					WARRANT TOTAL		2,036.25
120437	AP	06/16/2026	41	UNDERGROUND VAULTS & STORAGE			
			141862	6-001-5-19-214	FILE RETRIEVAL	16.89	
					WARRANT TOTAL		16.89
120438	AP	06/16/2026	3510	ARI AILIN			
			141682	6-001-5-07-351	SHERIFF VEHICLE MAINTENANCE FO	60.00	
					WARRANT TOTAL		60.00
120439	AP	06/16/2026	3510	GLENN BERRY			
			141685	6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	
					WARRANT TOTAL		60.00
120440	AP	06/16/2026	3510	AARON BURCHYETT			
			141686	6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	
					WARRANT TOTAL		60.00
120441	AP	06/16/2026	3510	ANDREW DEDEKE			
			141687	6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	
					WARRANT TOTAL		60.00
120442	AP	06/16/2026	3510	JAY DOUTHITT			
			141688	6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	
					WARRANT TOTAL		60.00
120443	AP	06/16/2026	3510	JOHN DUNLAP			
			141689	6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	
					WARRANT TOTAL		60.00
120444	AP	06/16/2026	3510	LLOYD DURNAL			
			141690	6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	
					WARRANT TOTAL		60.00
120445	AP	06/16/2026	3510	TYLER FAST			
			141691	6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	
					WARRANT TOTAL		60.00
120446	AP	06/16/2026	3510	SARAH FLAHERTY			
			141692	6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	

START DATE: 06/12/2026 END DATE: 06/18/2026

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<u>WARRANT NUMBER</u>	<u>CHK TYPE</u>	<u>WARRANT DATE</u>	<u>VEND #/ PCH DOC #</u>	<u>VENDOR NAME/ ACCOUNT NUMBER</u>	<u>DESCRIPTION</u>	<u>AMOUNT</u>	<u>TOTAL</u>
					WARRANT TOTAL		60.00
120447	AP	06/16/2026	3510 141694	GEORGE GREEN 6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	60.00
					WARRANT TOTAL		60.00
120448	AP	06/16/2026	3510 141695	CAITLYN HERBIG 6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	60.00
					WARRANT TOTAL		60.00
120449	AP	06/16/2026	3510 141696	JACOB HONADEL 6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	60.00
					WARRANT TOTAL		60.00
120450	AP	06/16/2026	3510 141697	PATRICK HORTON 6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	60.00
					WARRANT TOTAL		60.00
120451	AP	06/16/2026	3510 141698	DAVID HORVATH 6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	60.00
					WARRANT TOTAL		60.00
120452	AP	06/16/2026	3510 141700	TAYLOR KOBE 6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	60.00
					WARRANT TOTAL		60.00
120453	AP	06/16/2026	3510 141701	PHILLIP LAGEMAN 6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	60.00
					WARRANT TOTAL		60.00
120454	AP	06/16/2026	3510 141702	RICHARD LEFTLET 6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	60.00
					WARRANT TOTAL		60.00
120455	AP	06/16/2026	3510 141703	DAVID LOPEZ 6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	60.00
					WARRANT TOTAL		60.00
120456	AP	06/16/2026	3510 141704	BEAU MADDEN 6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	60.00
					WARRANT TOTAL		60.00
120457	AP	06/16/2026	3510 141705	CODY MARTIN 6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	60.00
					WARRANT TOTAL		60.00
120458	AP	06/16/2026	3510 141706	JAMES MCBURNEY 6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	60.00
					WARRANT TOTAL		60.00
120459	AP	06/16/2026	3510 141707	JON MILES 6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	60.00
					WARRANT TOTAL		60.00
120460	AP	06/16/2026	3510 141708	CODY MORLAN 6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	60.00
					WARRANT TOTAL		60.00
120461	AP	06/16/2026	3510 141709	BRIAN PATTERSON 6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	60.00
					WARRANT TOTAL		60.00
120462	AP	06/16/2026	3510 141710	JOSHUA PATZWALD 6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	60.00
					WARRANT TOTAL		60.00
120463	AP	06/16/2026	3510	JAKE PENNINGTON			60.00

START DATE: 06/12/2026 END DATE: 06/18/2026

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WARRANT NUMBER	CHK TYPE	WARRANT DATE	VEND #/ PCH DOC #	VENDOR NAME/ ACCOUNT NUMBER	DESCRIPTION	AMOUNT	TOTAL
			141711	6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	
120464	AP	06/16/2026	3510	DYLAN SHAW	WARRANT TOTAL		60.00
			141712	6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	
120465	AP	06/16/2026	3510	JAMES SHERLEY	WARRANT TOTAL		60.00
			141713	6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	
120466	AP	06/16/2026	3510	ERIC THORNE	WARRANT TOTAL		60.00
			141714	6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	
120467	AP	06/16/2026	3510	STEPHEN TUTTLE	WARRANT TOTAL		60.00
			141715	6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	
120468	AP	06/16/2026	3510	DILLON WHITE	WARRANT TOTAL		60.00
			141716	6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	
120469	AP	06/16/2026	3510	CARL WILK	WARRANT TOTAL		60.00
			141717	6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	
120470	AP	06/16/2026	3510	JORDAN ZIMMERMAN	WARRANT TOTAL		60.00
			141718	6-001-5-07-351	VEHICLE MAINTENANCE FOR 2ND QU	60.00	
120471	AP	06/16/2026	3510	ARI AILIN	WARRANT TOTAL		60.00
			141724	6-001-5-07-351	SHERIFF UNIFORM MAINTENANCE FO	130.00	
120472	AP	06/16/2026	3510	ANTHONY BRANTLEY	WARRANT TOTAL		130.00
			141730	6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST &	40.00	
120473	AP	06/16/2026	3510	MATTHEW BUENO	WARRANT TOTAL		40.00
			141731	6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST &	130.00	
120474	AP	06/16/2026	3510	AARON MURCHYETT	WARRANT TOTAL		130.00
			141732	6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST &	130.00	
120475	AP	06/16/2026	3510	HENRY CHARR	WARRANT TOTAL		130.00
			141733	6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST &	20.00	
120476	AP	06/16/2026	3510	KENT CULLUMBER	WARRANT TOTAL		20.00
			141734	6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST &	130.00	
120477	AP	06/16/2026	3510	ANDREW DEDEKE	WARRANT TOTAL		130.00
			141735	6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST &	130.00	
120478	AP	06/16/2026	3510	BROCK DEGENHARDT	WARRANT TOTAL		130.00
			141736	6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST &	120.00	
120479	AP	06/16/2026	3510	MATTHEW DEGENHARDT	WARRANT TOTAL		120.00
			141737	6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST &	130.00	
					WARRANT TOTAL		130.00

START DATE: 06/12/2026 END DATE: 06/18/2026

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CHECK RANGE SELECTED: \* No Check Range Selected

<u>WARRANT NUMBER</u>	<u>CHK TYPE</u>	<u>WARRANT DATE</u>	<u>VEND #/ PCH DOC #</u>	<u>VENDOR NAME/ ACCOUNT NUMBER</u>	<u>DESCRIPTION</u>	<u>AMOUNT</u>	<u>TOTAL</u>
120480	AP	06/16/2026	3510 141738	KAYLA DELARIVA 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120481	AP	06/16/2026	3510 141739	DAWSON DOUTHITT 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120482	AP	06/16/2026	3510 141740	LORRIE DUNHAM 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120483	AP	06/16/2026	3510 141742	JOHN DUNLAP 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120484	AP	06/16/2026	3510 141743	LLOYD DURNAL 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120485	AP	06/16/2026	3510 141744	TYLER FAST 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120486	AP	06/16/2026	3510 141745	SARAH FLAHERTY 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120487	AP	06/16/2026	3510 141746	AARON FRICKE 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120488	AP	06/16/2026	3510 141747 141693	FRANCISCO GARCIA 6-001-5-07-351 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & VEHICLE MAINTENANCE FOR 2ND QU WARRANT TOTAL	130.00 60.00	190.00
120489	AP	06/16/2026	3510 141748	GABRIEL GOSNEY 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120490	AP	06/16/2026	3510 141749	RYAN GOTT 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120491	AP	06/16/2026	3510 141750	GEORGE GREEN 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120492	AP	06/16/2026	3510 141751	CAITLYN HERBIG 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120493	AP	06/16/2026	3510 141752	JACOB HONADEL 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120494	AP	06/16/2026	3510 141753	PATRICK HORTON 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120495	AP	06/16/2026	3510 141755	RUSSELL KLEPEES 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120496	AP	06/16/2026	3510	DAVID HORVATH			

START DATE: 06/12/2026 END DATE: 06/18/2026

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<u>WARRANT NUMBER</u>	<u>CHK TYPE</u>	<u>WARRANT DATE</u>	<u>VEND #/ PCH DOC #</u>	<u>VENDOR NAME/ ACCOUNT NUMBER</u>	<u>DESCRIPTION</u>	<u>AMOUNT</u>	<u>TOTAL</u>
			141754	6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	120.00	120.00
120497	AP	06/16/2026	3510 141757	TAYLOR KOBE 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120498	AP	06/16/2026	3510 141758	PHILIP LAGEMANN 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120499	AP	06/16/2026	3510 141759	CASEY LAND 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120500	AP	06/16/2026	3510 141760	RICHARD LEFLET 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120501	AP	06/16/2026	3510 141761	ALEX LEINTZ 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120502	AP	06/16/2026	3510 141762	DANIEL LOPEZ 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120503	AP	06/16/2026	3510 141763	BEAU MADDEN 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120504	AP	06/16/2026	3510 141764	BRANDON MAH 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	20.00	20.00
120505	AP	06/16/2026	3510 141765	EVAN MARSHALL 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	30.00	30.00
120506	AP	06/16/2026	3510 141766	CODY MARTIN 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120507	AP	06/16/2026	3510 141767	BRANDEN MASONER 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120508	AP	06/16/2026	3510 141768	JAMES MCBURNEY 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120509	AP	06/16/2026	3510 141769	JON MILES 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120510	AP	06/16/2026	3510 141770	CODY MORLAN 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120511	AP	06/16/2026	3510 141771	MATTHEW OBRIEN 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120512	AP	06/16/2026	3510 141772	AUSTIN OETH 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00

START DATE: 06/12/2026 END DATE: 06/18/2026

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<u>WARRANT NUMBER</u>	<u>CHK TYPE</u>	<u>WARRANT DATE</u>	<u>VEND #/ PCH DOC #</u>	<u>VENDOR NAME/ ACCOUNT NUMBER</u>	<u>DESCRIPTION</u>	<u>AMOUNT</u>	<u>TOTAL</u>
120513	AP	06/16/2026	3510 141773	BRENT OGBORN 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120514	AP	06/16/2026	3510 141774	BRIAN PATTERSON 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120515	AP	06/16/2026	3510 141775	JOSHUA PATZWALD 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120516	AP	06/16/2026	3510 141776	JACOB PENNINGTON 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120517	AP	06/16/2026	3510 141778	REBECCA PHILLIPS 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120518	AP	06/16/2026	3510 141779	HUNTER PRESSLER 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120519	AP	06/16/2026	3510 141780	WILLIAM SCHNEIDER 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120520	AP	06/16/2026	3510 141777	RAYMOND PHILLIPS 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	10.00	10.00
120521	AP	06/16/2026	3510 141781	DALTON SCHUETTE 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120522	AP	06/16/2026	3510 141782	MICHAEL SCULLY 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120523	AP	06/16/2026	3510 141783	DYLAN SHAW 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120524	AP	06/16/2026	3510 141784	JAMES SHERLEY 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120525	AP	06/16/2026	3510 141785	DEREK SIEBENMORGEN 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120526	AP	06/16/2026	3510 141786	JAYVON SIMMONS 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120527	AP	06/16/2026	3510 141787	BRENT SOMMERS 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	130.00	130.00
120528	AP	06/16/2026	3510 141788	MADDOX SOMMERVILLE 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST & WARRANT TOTAL	40.00	40.00
120529	AP	06/16/2026	3510 141789	ALEC TERRY 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST &	130.00	

START DATE: 06/12/2026 END DATE: 06/18/2026

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WARRANT NUMBER	CHK TYPE	WARRANT DATE	VEND #/ PCH DOC #	VENDOR NAME/ ACCOUNT NUMBER	DESCRIPTION	AMOUNT	TOTAL
					WARRANT TOTAL		130.00
120530	AP	06/16/2026	3510 141790	ERIC THORNE 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST &	130.00	130.00
					WARRANT TOTAL		130.00
120531	AP	06/16/2026	3510 141791	STEPHEN TUTTLE 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST &	130.00	130.00
					WARRANT TOTAL		130.00
120532	AP	06/16/2026	3510 141792	CHRISTIAN VITAL 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST &	130.00	130.00
					WARRANT TOTAL		130.00
120533	AP	06/16/2026	3510 141793	SARAH WATKINS 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST &	130.00	130.00
					WARRANT TOTAL		130.00
120534	AP	06/16/2026	3510 141794	DILLON WHITE 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST &	130.00	130.00
					WARRANT TOTAL		130.00
120535	AP	06/16/2026	3510 141795	CARL WILK III 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST &	130.00	130.00
					WARRANT TOTAL		130.00
120536	AP	06/16/2026	3510 141796	ANGELA WILLIAMS 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST &	130.00	130.00
					WARRANT TOTAL		130.00
120537	AP	06/16/2026	3510 141797	JONAH WISE 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST &	130.00	130.00
					WARRANT TOTAL		130.00
120538	AP	06/16/2026	3510 141798	JORDAN ZIMMERMAN 6-001-5-07-351	UNIFORM MAINTENANCE FOR 1ST &	130.00	130.00
					WARRANT TOTAL		130.00
120539	AP	06/16/2026	575	US POSTAL SERVICE (QUADIENT-PO			
			141851	6-001-5-01-302	MAY POSTAGE	3.38	
			141851	6-001-5-03-302	MAY POSTAGE	296.72	
			141851	6-001-5-05-302	MAY POSTAGE	520.91	
			141851	6-001-5-06-302	MAY POSTAGE	21.75	
			141851	6-001-5-07-302	MAY POSTAGE	473.17	
			141851	6-001-5-09-232	MAY POSTAGE	45.06	
			141851	6-001-5-11-302	MAY POSTAGE	528.43	
			141851	6-001-5-14-302	MAY POSTAGE	98.63	
			141851	6-001-5-19-302	MAY POSTAGE	370.00	
			141851	6-001-5-19-302	MAY POSTAGE	2,170.53	
			141851	6-001-5-28-302	MAY POSTAGE	43.60	
			141851	6-001-5-53-301	MAY POSTAGE	.74	
			141851	6-108-5-00-302	MAY POSTAGE	10.78	
			141851	6-108-5-00-606	MAY POSTAGE	133.65	
			141851	6-126-5-00-301	MAY POSTAGE	37.98	
			141851	6-133-5-00-301	MAY POSTAGE	86.24	
			141851	6-136-5-00-341	MAY POSTAGE	2.51	
			141851	6-145-5-00-302	MAY POSTAGE	322.24	
			141851	6-146-5-00-302	MAY POSTAGE	1,933.83	
			141851	6-160-5-00-201	MAY POSTAGE	45.52	
					WARRANT TOTAL		7,145.67

START DATE: 06/12/2026 END DATE: 06/18/2026

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WARRANT NUMBER	CHK TYPE	WARRANT DATE	VEND #/ PCH DOC #	VENDOR NAME/ ACCOUNT NUMBER	DESCRIPTION	AMOUNT	TOTAL
120540	AP	06/16/2026	1241 141803 141803	VANCE BROS LLC 6-133-5-00-303 6-133-5-00-303	SS IH AND CRS 1 HP DEMURRANGE SS IH AND CRS 1 HP DEMURRANGE	5,747.50 14,859.38	20,606.88
						WARRANT TOTAL	
120541	AP	06/16/2026	392 141802 141802 141802 141802	VANDERBILT'S 6-133-5-00-364 6-133-5-00-364 6-133-5-00-364 6-133-5-00-364	SAFETY BOOTS AND CREDIT SAFETY BOOTS AND CREDIT SAFETY BOOTS AND CREDIT SAFETY BOOTS AND CREDIT	304.99- 164.99 164.99 149.99	174.98
						WARRANT TOTAL	
120542	AP	06/16/2026	1089 141847	RANDALL WILLIAM WAGER 6-220-5-19-400	PERMANENT DRAINAGE EASEMENT	896.63	896.63
						WARRANT TOTAL	
120543	AP	06/16/2026	1073 141884	WITHERS-KC SANITARY SUPPLY 6-001-5-12-301	OFFICE SUPPLIES	19.55	19.55
						WARRANT TOTAL	
120544	AP	06/16/2026	100 141889	6-001-5-14-221	WITNESS FEE AND MILEAGE	25.00	25.00
						WARRANT TOTAL	
120545	AP	06/16/2026	100 141890	6-001-5-14-221	WITNESS FEE AND MILEAGE	64.15	64.15
						WARRANT TOTAL	
120546	AP	06/16/2026	100 141891	6-001-5-14-221	WITNESS FEE AND MILEAGE	64.15	64.15
						WARRANT TOTAL	
120547	AP	06/16/2026	100 141918	6-001-5-14-221	WITNESS FEE AND MILEAGE	52.26	52.26
						WARRANT TOTAL	
120548	AP	06/17/2026	18253 141934 141934 141943 141943 141943 141943 141943 141943 141943	AT&T MOBILITY 6-001-5-06-216 6-001-5-06-216 6-001-5-12-216 6-001-5-12-216 6-001-5-12-216 6-001-5-12-216 6-001-5-12-216 6-001-5-12-216 6-001-5-12-216 6-001-5-12-216	WIRELESS MIFI 6978 WIRELESS MIFI 6978 PHONE SERVICE PHONE SERVICE PHONE SERVICE PHONE SERVICE PHONE SERVICE PHONE SERVICE PHONE SERVICE	43.73 43.73 15.14 15.14 9.40 17.58 15.14 17.58	177.44
						WARRANT TOTAL	
120549	AP	06/17/2026	2621 141941	TERRY BOOKER 6-145-5-00-256	MEALS FOR 06/01-06/21	15,366.00 15,047.50	30,413.50
						WARRANT TOTAL	
120550	AP	06/17/2026	36 141937	PATRICK J CAHILL 6-001-5-09-231	COURT APPOINTED ATTY	5,000.00	5,000.00
						WARRANT TOTAL	
120551	AP	06/17/2026	362 141938	BENJAMIN CASAD 6-001-5-09-231	COURT APPOINTED ATTY	5,000.00	5,000.00
						WARRANT TOTAL	
120552	AP	06/17/2026	243 141929	GEOTAB USA INC 6-001-5-05-271	MAY GEOLOCATING	264.18	

START DATE: 06/12/2026 END DATE: 06/18/2026

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WARRANT NUMBER	CHK TYPE	WARRANT DATE	VEND #/ PCH DOC #	VENDOR NAME/ ACCOUNT NUMBER	DESCRIPTION	AMOUNT	TOTAL
			141930	6-001-5-05-271	APRIL GEOLOCATING	264.18	
			141929	6-001-5-06-222	MAY GEOLOCATING	16.33	
			141930	6-001-5-06-222	APRIL GEOLOCATING	16.33	
			141929	6-001-5-11-271	MAY GEOLOCATING	16.33	
			141930	6-001-5-11-271	APRIL GEOLOCATING	16.33	
			141929	6-001-5-31-230	MAY GEOLOCATING	48.99	
			141930	6-001-5-31-230	APRIL GEOLOCATING	48.99	
			141929	6-001-5-41-271	MAY GEOLOCATING	81.65	
			141930	6-001-5-41-271	APRIL GEOLOCATING	81.65	
			141929	6-001-5-53-220	MAY GEOLOCATING	81.65	
			141930	6-001-5-53-220	APRIL GEOLOCATING	81.65	
			141929	6-108-5-00-213	MAY GEOLOCATING	37.74	
			141930	6-108-5-00-213	APRIL GEOLOCATING	37.74	
			141929	6-127-5-00-2	MAY GEOLOCATING	16.33	
			141930	6-127-5-00-2	APRIL GEOLOCATING	16.33	
			141929	6-133-5-00-229	MAY GEOLOCATING	1,162.93	
			141930	6-133-5-00-229	APRIL GEOLOCATING	1,170.78	
			141929	6-136-5-00-221	MAY GEOLOCATING	32.66	
			141930	6-136-5-00-221	APRIL GEOLOCATING	32.66	
			141929	6-137-5-00-229	MAY GEOLOCATING	269.50	
			141930	6-137-5-00-229	APRIL GEOLOCATING	269.50	
			141929	6-145-5-00-230	MAY GEOLOCATING	490.84	
			141930	6-145-5-00-230	APRIL GEOLOCATING	522.56	
			141929	6-160-5-00-215	MAY GEOLOCATING	97.98	
			141930	6-160-5-00-215	APRIL GEOLOCATING	97.98	
					WARRANT TOTAL		5,273.79
120553	AP	06/17/2026	1941	LAW OFFICE OF E ELAINE HALLEY			
			141939	6-001-5-09-231	COURT APPOINTED ATTY	5,000.00	
					WARRANT TOTAL		5,000.00
120554	AP	06/17/2026	1097	HIGHLAND PARK FUNERAL HOME & C			
			141935	6-001-5-13-215	BURNETT LANE	450.00	
					WARRANT TOTAL		450.00
120555	AP	06/17/2026	2059	MIDWEST OFFICE TECHNOLOGY INC			
			141940	6-145-5-00-208	BW COPIER	121.23	
					WARRANT TOTAL		121.23
120556	AP	06/17/2026	1090	PRAIRIE LANDFILL LLC			
			141936	6-160-5-00-204	LANDFILL CHARGES FOR SINGLE ST	52,543.17	
			141936	6-160-5-00-204	LANDFILL CHARGES FOR SINGLE ST	195.65	
					WARRANT TOTAL		52,738.82
					GRAND TOTAL		1,158,296.90

START DATE: 06/12/2026 END DATE: 06/18/2026

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FUND SUMMARY

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001	GENERAL	185,501.08
108	COUNTY HEALTH	2,126.23
112	EMPLOYEE BENEFIT	22,589.20
115	EQUIPMENT RESERVE	4,019.42
126	COMM CORR ADULT	631.95
127	COMM CORR ADULT NON GRANT	108.26
133	ROAD & BRIDGE	208,728.40
135	COMM CORR OPIOID	1,525.13
136	COMM CORR JUVENILE	1,017.52
137	LOCAL SERVICE ROAD & BRIDGE	3,537.15
138	JUV INTAKE & ASSESSMENT	53.52
145	COUNCIL ON AGING	53,178.46
146	COUNTY TREASURER SPECIAL	1,933.83
155	LSR CAPITAL EQUIP RESERVE	140,882.72
160	SOLID WASTE MANAGEMENT	57,463.43
171	S TAX CAP RD PROJ: BONDS	108,036.35
174	911	46,541.11
195	JUVENILE DETENTION	103.34
198	SPECIAL GRANTS	108.68
212	SEWER DISTRICT 2: TIMBERLAKES	370.48
215	CAPITAL IMPROVEMENTS	6,436.25
218	SEWER DIST #5	114.72
220	CAP IMPR: RD & BRIDGE	293,286.54
510	PAYROLL CLEARING	20,003.13
	TOTAL ALL FUNDS	1,158,296.90

**Leavenworth County  
Request for Board Action  
Case No. DEV-26-059 & 060  
Preliminary & Final Plat Stranger Creek Ranch East  
\*Consent Agenda\***

**Date: June 24, 2026  
To: Board of County Commissioners  
From: Planning & Zoning Staff**

**Department Head Review: John Jacobson, Reviewed**

**Additional Reviews as needed:**

**Budget Review  Administrator Review  Legal Review**

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**Action Request:**

Chairman, I find that the proposed Final Plat as outlined in case DEV-26-060 is compliant with the County Zoning & Subdivision Regulations and move that the proposed Final Plat be conditionally approved and accepted by this Board subject to the conditions set forth in the staff report and as adopted by the Planning Commission.

**Analysis:** The applicant is proposing to divide a 31-acre parcel into six (6) lots. The Subdivision is classified as a Class C with all lots lying within the Rural Growth Area of Leavenworth County. Staff is supportive of a waiver of the requirement to connect to a sanitary sewer system as sanitary sewers are not located within 660' of the subdivision (see condition 3). Lot 4 will be approximately 6 acres in size. Lots 1 – 3 & 5 – 6 will be approximately 5 acres in size.

The final plat meets the standards set forth in the Leavenworth County Zoning and Subdivision Regulations.

**Recommendation:** The Planning Commission voted 7-0 (2 absent) to recommend approval of Case No.DEV-26-060, Final Plat for Stranger Creek Ranch East subject to conditions.

**Alternatives:**

1. Approve Case No. DEV-26-060, Final Plat for Stranger Creek Ranch East, with Findings of Fact, and with or without conditions; or
2. Deny Case No. DEV-26-060, Final Plat for Stranger Creek Ranch East, with Findings of Fact; or
3. Revise or Modify the Planning Commission Recommendation to Case No. DEV-26-060, Final Plat for Stranger Creek Ranch East, with Findings of Fact; or
4. Remand the case back to the Planning Commission.

**Budgetary Impact:**

- Not Applicable
- Budgeted item with available funds
- Non-Budgeted item with available funds through prioritization
- Non-Budgeted item with additional funds requested

**Total Amount Requested:** \$0.00

**Additional Attachments:** Staff Report, Plat

**LEAVENWORTH COUNTY  
PLANNING COMMISSION  
STAFF REPORT**

**CASE NO:** DEV-26-059 & 060 Stranger Creek Ranch East

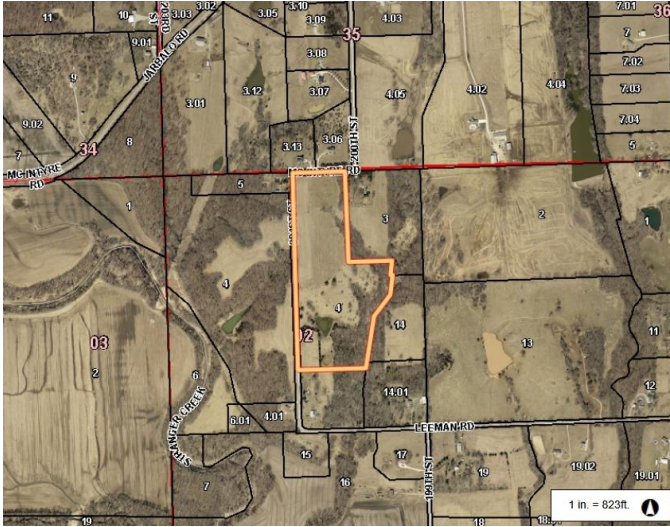
June 10, 2026

**REQUEST:** *Consent Agenda*

- Preliminary Plat       Final Plat  
 Replat

**STAFF REPRESENTATIVE:**  
JOSH SCHWEITZER  
Planner II

**SUBJECT PROPERTY:** 00000 201st Street



**APPLICANT/APPLICANT AGENT:**  
Joe Herring  
Herring Surveying Company

**PROPERTY OWNER:**  
DAC Ventures  
Olathe, KS

**CONCURRENT APPLICATIONS:**  
NONE

**LAND USE**

**ZONING:** RR-5  
**FUTURE LAND USE DESIGNATION:** RR-2.5

**LEGAL DESCRIPTION:**  
A Minor Subdivision in the Northwest Quarter of Section 2, Township 10 South, Range 21, East of the 6th P.M., in Leavenworth County Kansas.

**SUBDIVISION:** N/A  
**FLOODPLAIN:** N/A

**STAFF RECOMMENDATION:** APPROVAL

**PROPERTY INFORMATION**

**ACTION OPTIONS:**

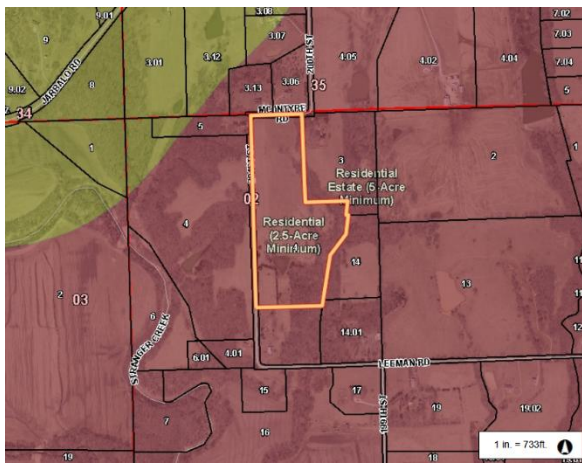
1. Recommend approval of Case No. DEV-26-059 & 060, Preliminary & Final Plat for Stranger Creek Ranch East, to the Board of County Commissioners, with or without conditions; or
2. Recommend denial of Case No. DEV-26-059 & 060, Preliminary & Final Plat for Stranger Creek Ranch East to the Board of County Commissioners for the following reasons; or
3. Continue the hearing to another date, time, and place.

**PARCEL SIZE:** 31 Acres  
**PARCEL ID NO:** 141-02-0-00-00-004  
**BUILDINGS:** N/A

**PROJECT SUMMARY:**  
Request for a preliminary & final plat approval to subdivide property located at 00000 201st St (PID #141-02-0-00-00-004) as Lots 01 through 06 of Stranger Creek Ranch East.

**ACCESS/STREET:**  
201st Street - Local, Gravel ± 20';  
McIntyre Rd - Local, Gravel ± 20';

**FUTURE LAND USE DESIGNATION MAP:**



**UTILITIES**

**SEWER:** Private Septic  
**FIRE:** High Prairie  
**WATER:** RWD 8  
**ELECTRIC:** Everygy

**NOTICE & REVIEW:**

**STAFF REVIEW:** 6/2/2026  
**NEWSPAPER NOTIFICATION:** N/A  
**NOTICE TO SURROUNDING PROPERTY OWNERS:** N/A

<b>STANDARDS TO BE CONSIDERED:</b>			
<b>Leavenworth County Zoning and Subdivision Standards: Preliminary Review</b>		<b>Met</b>	<b>Not Met</b>
35-40	<b>Preliminary Plat Content</b>	X	
40-20	<b>Final Plat Content</b>	X	
41-6	<b>Access Management</b>	X	
41-6.B.a-c.	<b>Entrance Spacing</b>	X	
41-6.C.	<b>Public Road Access Management Standards</b>	X	
43	<b>Cross Access Easements</b>	N/A	
50-20	<b>Utility Requirements</b>	X	
50-30	<b>Other Requirements</b>	X	
50-40	<b>Minimum Design Standards</b>	X	
50-50	<b>Sensitive Land Development</b>	N/A	
50-60.	<b>Dedication of Reservation of Public Sites and Open Spaces</b>	N/A	

**STAFF COMMENTS:**

The applicant is proposing to divide a 31-acre parcel into six (6) lots. The Subdivision is classified as a Class C with all lots lying within the Rural Growth Area of Leavenworth County. Staff is supportive of a waiver of the requirement to connect to a sanitary sewer system as sanitary sewers are not located within 660' of the subdivision (see condition 3). Lot 4 will be approximately 6 acres in size. Lots 1 – 3 & 5 – 6 will be approximately 5 acres in size. All lots meet the requirements for the RR-5 zoning district.

**PROPOSED CONDITIONS:**

1. Building permits shall be required for any new construction.
2. Erosion control shall be used when designing and constructing driveways. A form of sediment control shall be installed before work begins and maintained throughout the time that the land disturbing activities are taking place. Re-vegetation of all disturbed sites shall be completed within 45 days after completion of final grading weather permitting.
3. A waiver for the use of private septic systems within this subdivision is granted with this approval.
4. At time of development, fire hydrants shall be required, if necessary, infrastructure is available. If the infrastructure is not available to support fire hydrants, a letter from the Water District stating such must be provided prior to any building permit being issued.
5. Must provide updated plats in compliance with all outstanding review comments made by County Staff prior to recording.
6. The developer must comply with the following memorandums:  
Memo – RWD 8, dated April 23, 2026

**PROPOSED MOTIONS:**

Approve case DEV-26-059/060, a request to plat the property located at 00000 201<sup>st</sup> Street into a 6-lot subdivision in conformance with the Zoning and Subdivision Regulations with a majority vote; or

*Motion: Chairman, I find that the subdivision request complies with the Zoning and Subdivision Regulations and move to recommend approval to the Board of County Commissioners of the request as outlined in Case DEV-26-059/060 based on the recommendation of Planning Staff and the findings as set forth in the Staff Report.*

Deny case DEV-26-059/060, a request to plat the property located at 00000 201<sup>st</sup> Street into a 6-lot subdivision not in conformance with the Zoning and Subdivision Regulations with a majority vote; or

*Motion: Chairman, I find that the subdivision request does not comply with the Zoning and Subdivision Regulations (list Article and Section #) and move to recommend denial to the Board of County Commissioners as outlined in Case DEV-26-059/060.*

Table the case to a date and time certain for additional information.

*Motion: Chairman, I move to table Case No. DEV-26-059/060 to (Date and Time) requesting additional information for (STATE THE REASON(S)).*

**ATTACHMENTS:**

A: Application & Narrative

B: Zoning Map

C: Road Map (A minimum of 1/4 mile)

D: Memorandums

**FINAL &  
PRELIMINARY PLAT APPLICATION**  
Leavenworth County Planning and Zoning Department  
300 Walnut St., Suite 212  
Leavenworth, Kansas  
913-684-0465

Office Use Only

Township: \_\_\_\_\_ Planning Commission Meeting Date: \_\_\_\_\_  
 Case No. \_\_\_\_\_ Date Received/Paid: \_\_\_\_\_  
 Zoning District \_\_\_\_\_ Comprehensive Plan Land Use Designation: \_\_\_\_\_

**APPLICANT/AGENT INFORMATION**

**OWNER INFORMATION**

NAME: Herring Surveying Company NAME: DAC Ventures, LLC  
 MAILING ADDRESS: 315 North 5th Street MAILING ADDRESS 24030 201st St  
 CITY/ST/ZIP: Leavenworth, KS 66048 CITY/ST/ZIP Leavenworth, KS 66048  
 \_\_\_\_\_  
 PHONE: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 EMAIL : \_\_\_\_\_ EMAIL \_\_\_\_\_

**GENERAL INFORMATION**

Proposed Subdivision Name: Stranger Creek Ranch East  
 Address of Property: 00000 201st Street  
 PID: 141-02-0-00-00-004 Urban Growth Management Area: N/A

**SUBDIVISION INFORMATION**

Gross Acreage: <u>31 AC</u>	Number of Lots: <u>6</u>	Minimum Lot Size: <u>5 Ac</u>
Maximum Lot Size: <u>6.4 Ac</u>	Proposed Zoning: <u>RR-5</u>	Density: <u>N/A</u>
Open Space Acreage: <u>N/A</u>	Water District: <u>RWD 8</u>	Proposed Sewage: <u>Septic</u>
Fire District: <u>High Prairie</u>	Electric Provider: <u>Evergy</u>	Natural Gas Provider: <u>Propane</u>
Covenants: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Road Classification: <u>Local - Collector - Arterial - State - Federal</u>	
	Cross-Access Easement Requested: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
List of all Requested Exceptions: <i>Exceptions may be granted per Article 56 or as otherwise stated in the Zoning &amp; Subdivision Regulations.</i>	1.	
	2.	
	3.	
	4.	
	5.	

Is any part of the site designated as Floodplain?  Yes  No if yes, what is the panel number:

I, the undersigned, am the owner, **duly authorized agent**, of the aforementioned property situated in the unincorporated portion of Leavenworth County, Kansas. By execution of my signature, I do hereby officially apply for a final plat approval as indicated above.

Signature: Joe Herring - digitally signed 4-22-26

Date: 4-22-26

**ATTACHMENT A**

**Transaction Identification Data, for which the Company assumes no liability  
as set forth in Commitment Condition 5.e.:**

Issuing Agent ALTA Registry ID: 1016833

Issuing Office: Buyer(s) Side: Continental Title Company - 1204 State Ave, Ste C, Tonganoxie, KS 66086  
Closer: Chelsea Logan | Phone: (913)845-2035 | Fax: (913)845-2028

Issuing Office: Seller(s) Side: Continental Title Company - 1204 State Ave, Ste C, Tonganoxie, KS 66086  
Closer: Chelsea Logan | Phone: (913)845-2035 | Fax: (913)845-2028

File No.: C25013626

Property Address: 24030 201st St, Leavenworth, KS 66048

**SCHEDULE A**

1. Commitment Date: October 30, 2025 at 12:00 AM
2. Policy to be issued:
  - a. ALTA Owner's Policy (2021) Proposed Policy Amount: \$1,195,000.00  
Proposed Insured: DAC Ventures, LLC & or Assigns Premium: \$2,080.00
  - b. ALTA Loan Policy (2021) Proposed Policy Amount: \$1,195,000.00  
Proposed Insured: Equity Bank Premium: \$800.00
3. The estate or interest in the Land at the Commitment Date is:  
Fee Simple
4. The Title is, at the Commitment Date, vested in:  
Jean M. Cash and Deborah Ann Gaddie and Beric C. Lynch and George Daniel Lynch and Patrick Alan Lynch
5. The Land is described as follows:

*This page is only a part of a 2021 ALTA® Commitment for Title Insurance issued by First National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; and Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.*

FNTI Form No.: KSCom21 ALTA Commitment for Title Insurance v. 01.00 Adopted 7/1/2021 (with Kansas Modifications)

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## SCHEDULE A

(Continued)

11.75 acres of land in the East Half of the Northwest Quarter of Section Two (2) in Township Ten (10) South of Range Twenty-one (21) East of the Sixth P.M., in Leavenworth County, Kansas, described as commencing at the Northwest corner of the East Half of the Northwest Quarter of said Section; thence South 14.32 chains, thence East 8.23 chains; thence North 14.27 chains; thence West 8.23 chains to place of beginning

25 acres of land, more or less, in the East Half of the Northwest Quarter of Section Two (2), in Township Ten (10) South of Range Twenty-one (21) East of the Sixth P.M., described as beginning at a point 10 chains West and 5 chains North of the Southeast corner of said Quarter Section; thence West 10 chains, thence North 20.97 chains, thence East 15.25 chains, thence South along the West line of the William Stillings Tract to beginning

5 acres of land, more or less, in the Southeast Quarter of the Northwest Quarter of Section Two (2), Township Ten (10) South of Range Twenty-one (21) East of Sixth P.M., described as beginning at a point 10 chains West of the Southeast corner of the Northwest Quarter of said Section Two (2), thence West 10 chains, thence North 5 chains, thence East 10 chains, thence South 5 chains, to the place of beginning, less a 20 foot strip off the West side thereof for a road and less 1/2 acre in Southwest corner reserved for church purpose

AND the West Half of the Northwest Quarter of Section Two (2), in Township Ten (10) of Range Twenty-one (21), Leavenworth County, Kansas

LESS a tract of land in the Northwest Quarter of Section Two (2), Township Ten (10) South, Range Twenty-one (21) East, more fully described as follows: Beginning at the Northeast corner of the West Half of the Northwest Quarter of said Section Two (2), thence Westerly 1043.50 feet along the North line of said Northwest Quarter; thence Southerly 206.70 feet; thence Easterly 1043.50 feet to a point on the East line of the West Half of the Northwest Quarter; thence Northerly 208.70 feet along the East line of the West Half of said Northwest Quarter to the Point of Beginning, containing 5.02 acres, more or less.

Countersigned:

Janet Bishop

**Continental Title Company**

13571 S Mur Len Rd

Olathe, KS 66062

By: 

Authorized Countersignature

*This page is only a part of a 2021 ALTA® Commitment for Title Insurance issued by First National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; and Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.*

FNTI Form No.: KSCom21 ALTA Commitment for Title Insurance v. 01.00 Adopted 7/1/2021 (with Kansas Modifications)

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AMERICAN  
LAND TITLE  
ASSOCIATION



C25013626

AFFIDAVIT

Authorization of Contractors or Individuals to Act as Agents of a Landowner

COUNTY OF LEAVENWORTH ~~Johnson~~ *Leavenworth*

STATE OF KANSAS

We/I Jim Coyle Mgr and DAC Ventures, LLC

Being dully sworn, dispose and say that we/I are the owner(s) of said property located at - 24030 201st St., Leavenworth KS 66048, and that we authorize the following people or firms to act in our interest with the Leavenworth County Planning and Zoning Department for a period of one calendar year. Additionally, all statements herein contained in the information herewith submitted are in all respects true and correct to the best of our knowledge and belief.

Authorized Agents (full name, address & telephone number)

- 1) Joseph A. Herring – Herring Surveying Company 315 N. 5<sup>th</sup> Street, Leavenworth, KS 66048, 913-651-3858
- 2)

Signed and entered this 13 day of February 2026

Jim Coyle 6430 M<sup>th</sup> Rd., Shawnee  
Print Name, Address, Telephone KS 66226

Signature

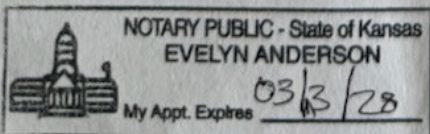
STATE OF KANSAS

Johnson  
) SS  
COUNTY OF LEAVENWORTH ~~Johnson~~

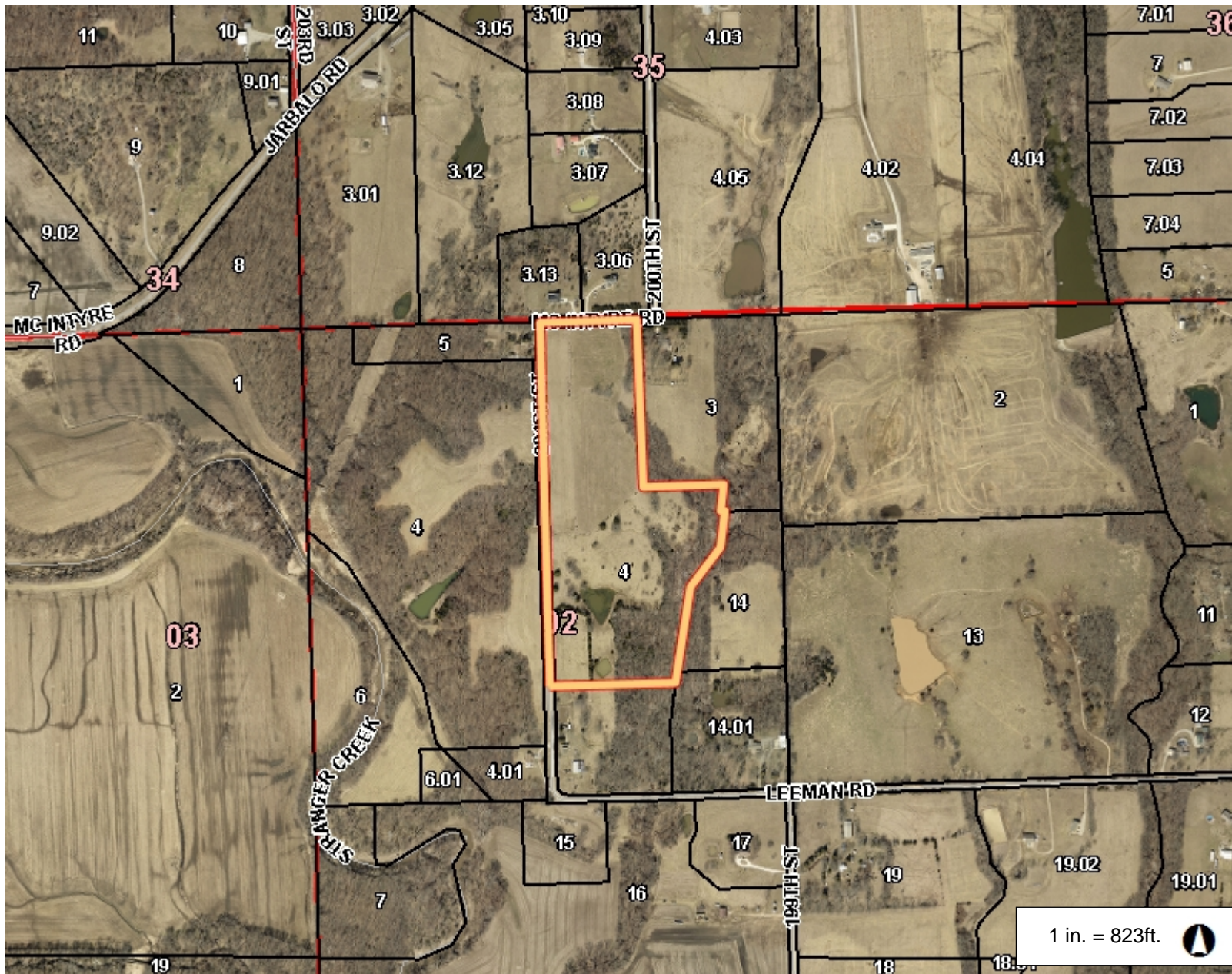
Be it remember that on this 13<sup>th</sup> day of February 2026 before me, a notary public in and for said County and State came Jim Coyle to me personally known to be the same persons who executed the forgoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

NOTARY PUBLIC Evelyn Anderson  
03/13/28

My Commission Expires: \_\_\_\_\_ (seal)



# Leavenworth County, KS



## Legend

- Parcel Number
- Parcel
- City Limit Line
- Major Road
  - <all other values>
  - 70
- Road
  - <all other values>
  - PRIVATE
- Railroad
- Section
- Section Boundaries
- County Boundary

1 in. = 823ft.

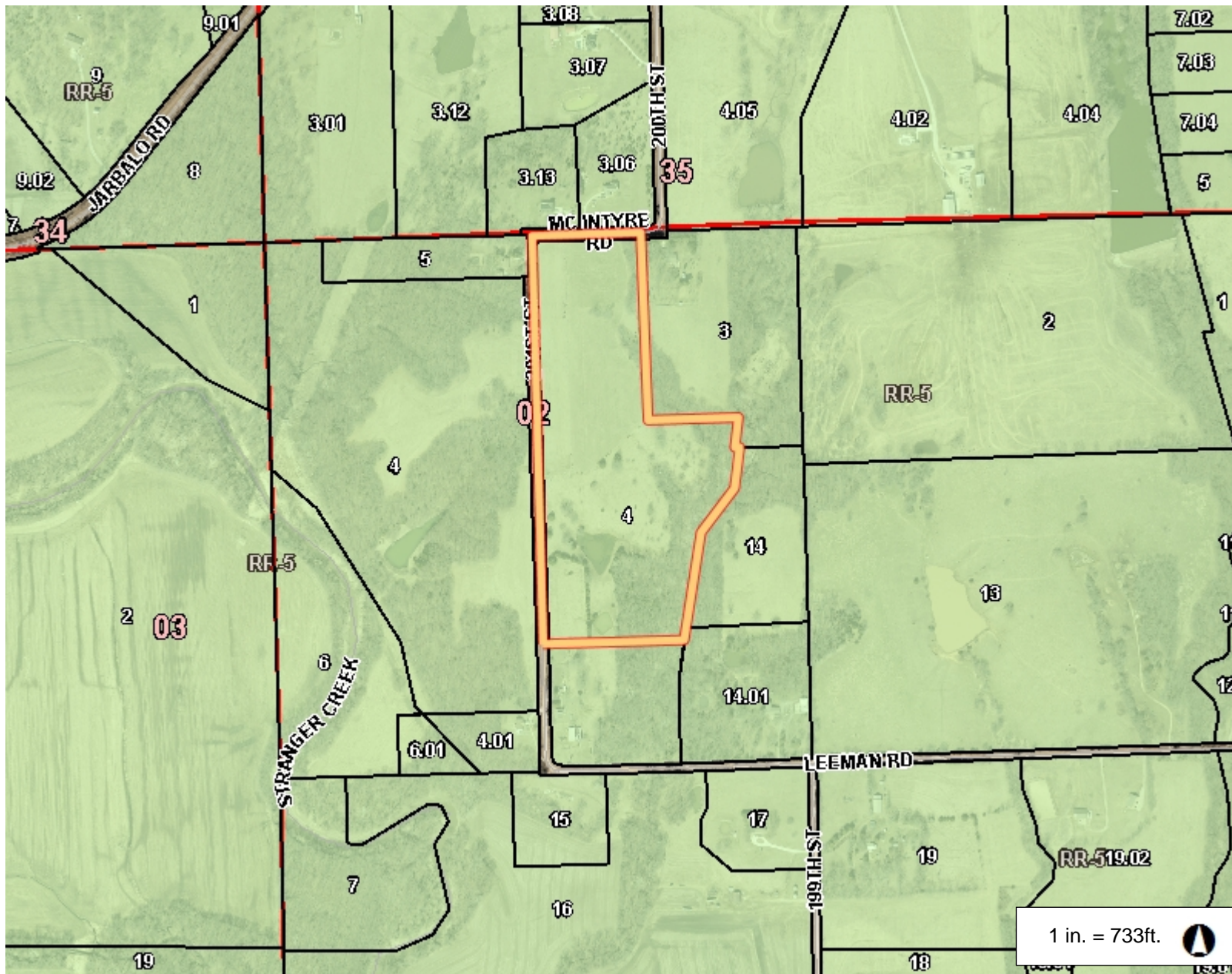
1,645.3      0      822.67      1,645.3 Feet

This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

## Notes

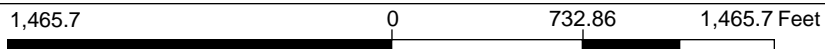
# Leavenworth County, KS



### Legend

- Parcel Number
- Parcel
- City Limit Line
- Major Road
  - <all other values>
  - 70
- Road
  - <all other values>
  - PRIVATE
- Railroad
- Section
- Section Boundaries
- County Boundary
- Zoning
  - B-1
  - B-2
  - B-3
  - I-1
  - I-2
  - I-3
  - MXD
  - PC
  - PI
  - PR-1
  - PR-2
  - PR-3

1 in. = 733ft.



This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

### Notes

6-02-26 PW Combined Review. No further comment.

Stranger Creek Ranch East  
Leavenworth County Kansas  
Drainage Report  
March 28, 2026  
Revised May 22, 2026



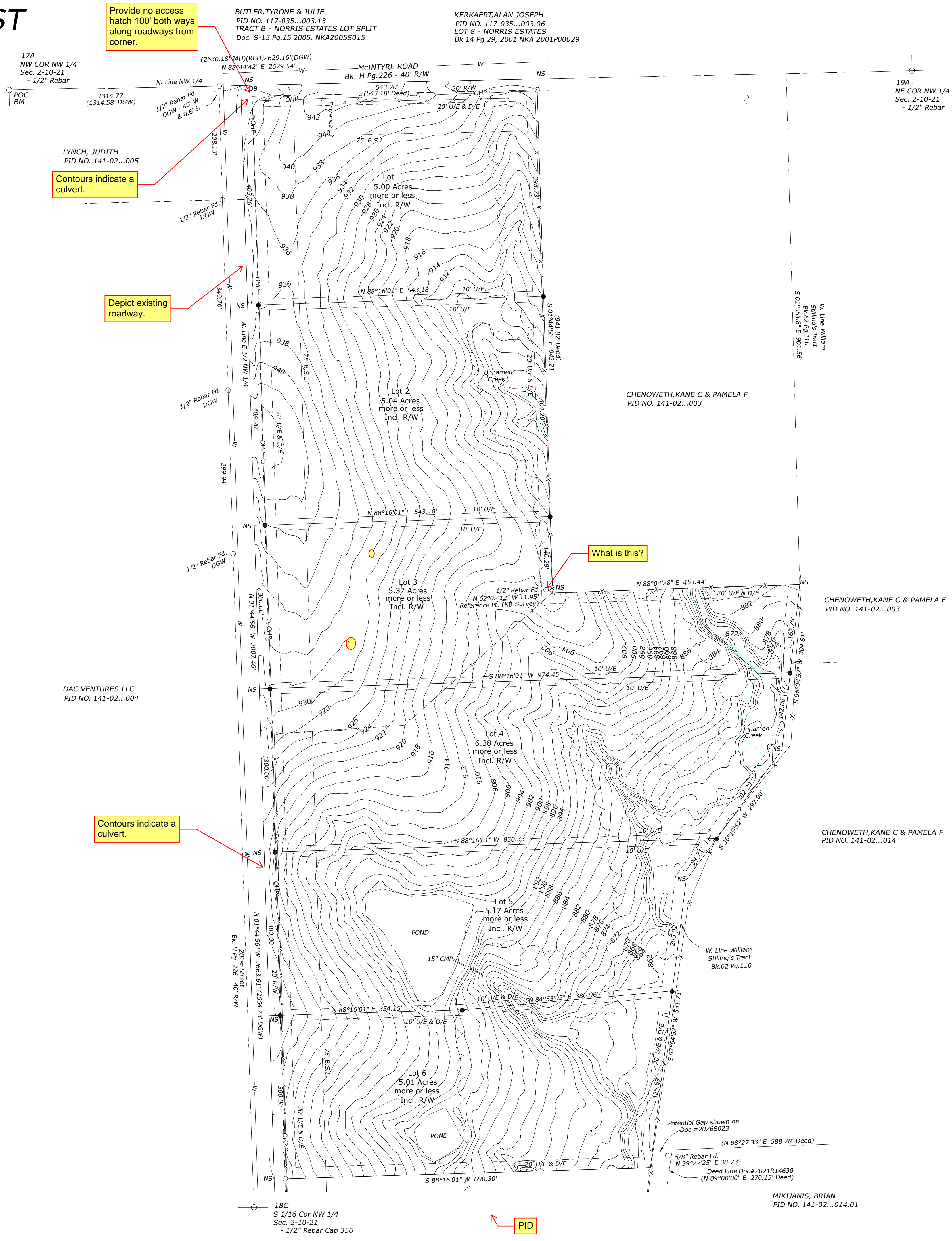
# STRANGER CREEK RANCH EAST

A Minor Subdivision in the East Half of the Northwest Quarter, Section 2, Township 10 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas.

## PRELIMINARY PLAT

PREPARED FOR:  
 DAC Ventures, LLC  
 24030 201st Street  
 Leavenworth, KS 66048  
 PID NO. 141-02-0-00-004

**TRACT 3:**  
 Tract of land in the East Half of the Northwest Quarter of Section 2, Township 10 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas, as written by Joseph A. Herring FS-1296 on February 21, 2026, more fully described as follows: Commencing at the Northwest corner of said Northwest Quarter; thence North 88 degrees 44'42" East for a distance of 1314.77 feet along the North line of said Northwest Quarter to the West line of the East Half of said Northwest Quarter and the TRUE POINT OF BEGINNING; thence continuing North 88 degrees 44'42" East for a distance of 543.20 feet along said North line; thence South 01 degrees 44'56" East for a distance of 943.21 feet; thence North 88 degrees 04'28" East for a distance of 453.44 feet to the West line of the Original Williams Stillings' Tract per Deed Book 62 Page 110; thence South 06 degrees 04'52" West for a distance of 304.91 feet along said West line; thence South 36 degrees 19'52" West for a distance of 297.00 feet along said West line; thence South 07 degrees 04'52" West for a distance of 550.58 feet along said West line; thence North 88 degrees 00'15" West for a distance of 455.84 feet; thence South 88 degrees 16'02" West for a distance of 232.54 feet to the West line of said East Half; thence North 01 degrees 44'56" West for a distance of 1996.46 feet along said West line to the point of beginning. Together with and subject to covenants, easements, and restrictions of record.  
 Said property contains 31.96 acres, more or less, including road right of way.  
 Error of Closure: 1 - 619619



**06-02-26**  
**PW Comments**  
**Comments**

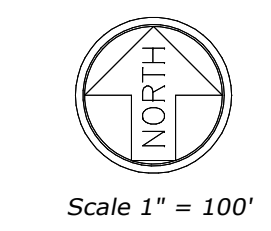
- RESTRICTIONS:**
- 1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
  - 2) An Engineered Waste Disposal System may be required due to poor soil conditions.
  - 3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
  - 4) Lots are subject to the current Access Management Policy
  - 5) All structures built within the subdivision shall comply with Resolution 2020-39, or as amended.
  - 6) No off-plat restrictions.

**ZONING:**  
 RR 5 - Rural Residential 5

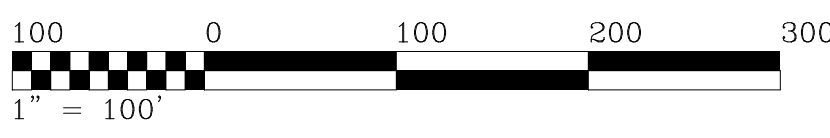
- NOTES:**
- 1) This survey does not show ownership.
  - 2) All distances are calculated from measurements or measured this survey, unless otherwise noted.
  - 3) All recorded and measured distances are the same, unless otherwise noted.
  - 4) Error of Closure - See Descriptions
  - 5) Basis of Bearing - KS SPC North Zone 1501
  - 6) Monument Origin Unknown, unless otherwise noted.
  - 7) Existing and Proposed Lots for Agriculture and Residential Use.
  - 8) Road Record - See Survey
  - 9) Benchmark - NAVD88
  - 10) Project Benchmark (BM) - NW COR Section 2 - 1/2" Rebar - Elev - 880.8'
  - 11) Easements, if any, are created hereon or listed in referenced title commitment.
  - 12) Reference Recorded Deed Doc # 2026R01070
  - 12) Utility Companies -  
 - Water - RWD 8  
 - Electric - Everygy  
 - Sewer - Septic / Lagoon  
 - Gas - Propane / Natural Gas
  - 13) Reference Fidelity National Title Insurance Company File Number C25013626 dated October 30, 2025
  - 14) Property is not in a Special Flood Hazard Area per FEMA FIRM Map 20103C0225G dated July 16, 2015
  - 15) Building Setback Lines as shown hereon or noted below  
 - All side yard setbacks - 15' (Accessory - 15')  
 - All rear yard setbacks - 40' (Accessory - 15')
  - 16) Existing Structures, if any, shown in approximate location.
  - 17) Fence Lines do not necessarily denote the boundary line for the property.
  - 18) Reference Surveys:  
 DGW - D.G.White Survey Doc # 2010S022  
 KB - Kenneth Bloom Survey 57-232, 1966 NKA 1966S232  
 DEB - D.E.Baumchen High Prairie Township Survey  
 JAH - J.A.Herring Doc #2025S090, #2026S023  
 NORRIS ESTATES Bk 14 Pg 29, 2001 NKA 2001P00029  
 RBD - R.B.Dill Surveys Doc 2016S003 & 2015S045

- LEGEND:**
- - 1/2" Rebar Set with Cap No.1296
  - - 1/2" Rebar Found, unless otherwise noted.
  - ( ) - Record / Deeded Distance
  - U/E - Utility Easement
  - D/E - Drainage Easement
  - B.S.L. - Building Setback Line
  - R/W - Road Right of way
  - Centerline
  - Section Line
  - BM - Benchmark
  - POB - Point of Beginning
  - POC - Point of Commencing
  - //// - No Vehicle Entrance Access
  - NS - Not Set this survey per agreement with client
  - - Power Pole
  - X - Fence Line
  - OHP - Overhead Power Lines
  - T - Underground Telephone/Fiber Optic Line
  - ◇ - Gas Valve
  - ▲ - Water Meter/Valve
  - ⊞ - Telephone Pedestal
  - W - 6" Water Line - location as per district
  - Tree/Brush Line

Repeat comment:  
 Provide a vicinity map



Job # K-24-1846  
 November 24, 2024 Rev. 1/9/25



PID

MIKIJANIS, BRIAN  
 PID NO. 141-02...014.01

# STRANGER CREEK RANCH EAST

A Minor Subdivision in the East Half of the Northwest Quarter, Section 2, Township 10 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas.

## FINAL PLAT

PREPARED FOR:  
 DAC Ventures, LLC  
 24030 201st Street  
 Leavenworth, KS 66048  
 PID NO. 141-02-0-00-00-04

TRACT 3: Per recorded Doc #2026S023  
 Tract of land in the East Half of the Northwest Quarter of Section 2, Township 10 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas, as written by Joseph A. Herring PS#1296 on February 21, 2026, more fully described as follows: Commencing at the Northwest corner of said Northwest Quarter; thence North 88 degrees 44'42" East for a distance of 1314.77 feet along the North line of said Northwest Quarter to the West line of the East Half of said Northwest Quarter and the TRUE POINT OF BEGINNING; thence continuing North 88 degrees 44'42" East for a distance of 543.20 feet along said North line; thence South 01 degrees 44'56" East for a distance of 943.21 feet; thence North 88 degrees 04'28" East for a distance of 453.44 feet to the West line of the Original Williams Stillings' Tract per Deed Book 62 Page 110; thence South 56 degrees 04'52" West for a distance of 304.81 feet along said West line; thence South 36 degrees 19'52" West for a distance of 297.00 feet along said West line; thence South 07 degrees 04'52" West for a distance of 550.58 feet along said West line; thence North 88 degrees 00'15" West for a distance of 455.84 feet; thence South 88 degrees 16'02" West for a distance of 232.54 feet to the West line of said East Half; thence North 01 degrees 44'56" West for a distance of 1996.46 feet along said West line to the point of beginning. Together with and subject to covenants, easements, and restrictions of record.  
 Said property contains 31.96 acres, more or less, including road right of way.  
 Error of Closure: 1 - 619619

### CERTIFICATION AND DEDICATION

The undersigned proprietors state that all taxes of the above described tract of land have been paid and that they have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be known as: STRANGER CREEK RANCH EAST.

Easements shown on this plat are hereby dedicated for public use, the rights of way which are shown with dashed lines on the accompanying plat, and said easements may be employed to locate and maintain sewers, water lines, gas lines, poles and wires and any other form of public utility now and hereafter used by the public over, under and along the strips marked "Utility Easement" (U/E).

"Drainage Easements" or "D/E" shown on this plat are hereby dedicated for the purpose of constructing, using, replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby dedicated for public use. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities. The maintenance and upkeep of said Easements shall be the responsibility of the individual owners of the lots whereupon said Easements are dedicated. Leavenworth County shall bear no responsibility for any maintenance and upkeep of said Easements.

Building Lines or Setback Lines (B.S.L.) are hereby established as shown on the accompanying plat and no building or portion thereof shall be built or constructed between this line and the street line.

### IN TESTIMONY WHEREOF,

We, the undersigned owners of STRANGER CREEK RANCH EAST, have set our hands this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

James A. Coyle, Manager  
 DAC Ventures, LLC

NOTARY CERTIFICATE:  
 Be it remembered that on this \_\_\_\_\_ day of \_\_\_\_\_, 2026, before me, a notary public in and for said County and State came James A. Coyle, Manager - DAC Ventures, LLC, to me personally known to be the same persons who executed the foregoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

### NOTARY PUBLIC

My Commission Expires: \_\_\_\_\_ (seal)

### APPROVALS

We, the Leavenworth County Planning Commission, do hereby approve the foregoing plat of STRANGER CREEK RANCH EAST this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Secretary  
 John Jacobson

Chairman  
 Jeff Spink

### COUNTY ENGINEER'S APPROVAL:

The County Engineer's plat review is only for general conformance with the subdivision regulations as adopted by Leavenworth County. The County is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

County Engineer - Mitch Pleak

### COUNTY COMMISSION APPROVAL:

We, the Board of County Commissioners of Leavenworth County, Kansas, do hereby approve the foregoing plat of STRANGER CREEK RANCH EAST this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Chairman  
 Mike Stieben

County Clerk  
 Attest: Fran Keppler

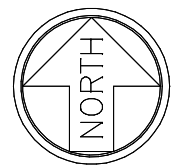
### REGISTER OF DEED CERTIFICATE:

Filed for Record as Document No. \_\_\_\_\_ on this \_\_\_\_\_ day of \_\_\_\_\_, 2026 at \_\_\_\_\_ o'clock \_\_\_\_\_ M in the Office of the Register of Deeds of Leavenworth County, Kansas,

Register of Deeds - TerriLois G. Todd

I hereby certify that this survey plat meets the requirements of K.S.A. 58-2005. The face of this survey plat was reviewed for compliance with Kansas Minimum Standards for Boundary Surveys. No field verification is implied. This review is for survey information only.

Daniel Baumchen, PS#1363  
 County Surveyor

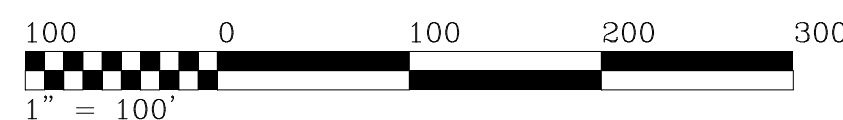


Scale 1" = 100'

Job # K-26-1976  
 April 22, 2026 Rev. 6-1-26



315 North 5th Street, Leav., KS 66048  
 Ph. 913.651.3858 Fax 913.674.5381  
 Email - survey@herringks.com

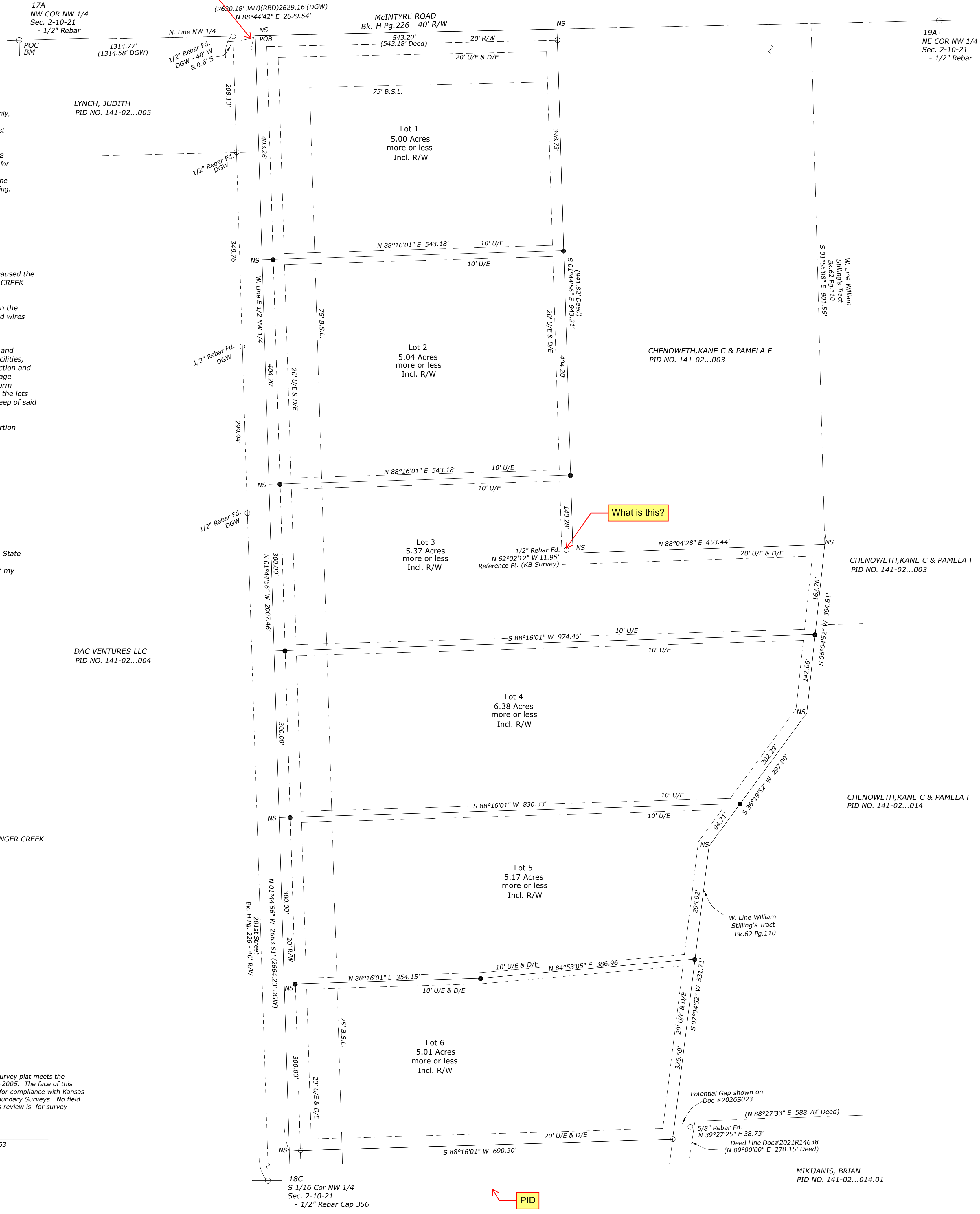


Provide no access hatch 100' both ways along roadways from corner.

Repeat Comment: Add existing property line.

BUTLER, TYRONE & JULIE  
 PID NO. 117-035...003.13  
 TRACT B - NORRIS ESTATES LOT SPLIT  
 Doc. 5-15 Pg.15 2005, NKA2005S015

KERKAERT, ALAN JOSEPH  
 PID NO. 117-035...003.06  
 LOT 8 - NORRIS ESTATES  
 Bk 14 Pg 29, 2001 NKA 2001P00029



06-02-26  
 PW Comments  
 Comments

### RESTRICTIONS:

- 1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
- 2) An Engineered Waste Disposal System may be required due to poor soil conditions.
- 3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
- 4) Lots are subject to the current Access Management Policy
- 5) All structures built within the subdivision shall comply with Resolution 2020-39, or as amended.
- 6) No off-plat restrictions.

### ZONING:

RR 5 - Rural Residential 5

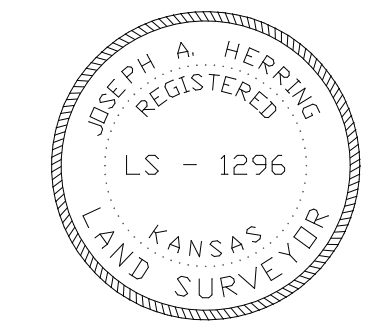
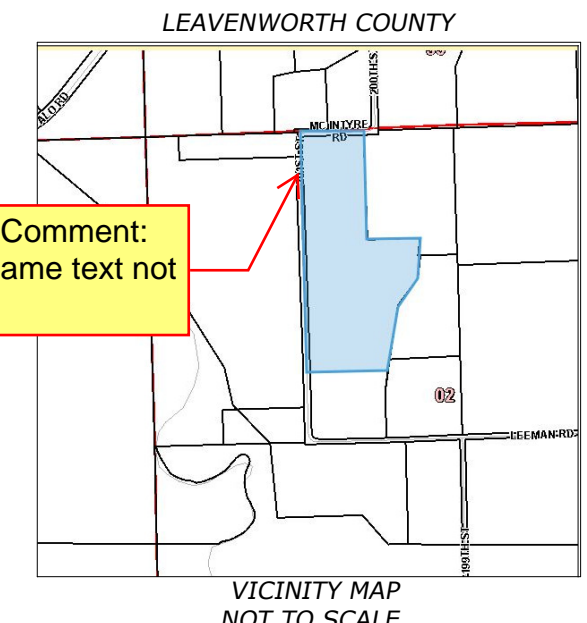
### NOTES:

- 1) This survey does not show ownership.
- 2) All distances are calculated from measurements or measured this survey, unless otherwise noted.
- 3) All recorded and measured distances are the same, unless otherwise noted.
- 4) Error of Closure - See Descriptions
- 5) Basis of Bearing - KS SPC North Zone 1501
- 6) Monument Origin Unknown, unless otherwise noted.
- 7) Existing and Proposed Lots for Agriculture and Residential Use.
- 8) Road Record - See Survey
- 9) Benchmark - NAVD88
- 10) Project Benchmark (BM) - NW COR Section 2 - 1/2" Rebar - Elev - 880.8'
- 11) Easements, if any, are created hereon or listed in referenced title commitment.
- 12) Reference Recorded Deed Doc # 2026R01070
- 13) Utility Companies -  
 - Water - RWD 8  
 - Electric - Everygy  
 - Sewer - Septic / Lagoon  
 - Gas - Propane / Natural Gas
- 14) Reference First National Title Insurance Company File Number C25013626 dated October 30, 2025
- 15) Property is not in a Special Flood Hazard Area per FEMA FIRM Map 20103C0225G dated July 16, 2015
- 16) Building Setback Lines as shown hereon or noted below  
 - All side yard setbacks - 15' (Accessory - 15')  
 - All rear yard setbacks - 40' (Accessory - 15')
- 17) Existing Structures, if any, shown in approximate location.
- 18) Fence Lines do not necessarily denote the boundary line for the property.
- 19) Reference Surveys:  
 DGW - D.G.White Survey Doc # 2010S022  
 KB - Kenneth Bloom Survey 57-232, 1966 NKA 1966S232  
 DEB - D.E.Baumchen High Prairie Township Survey  
 JAH - J.A.Herring Doc # 2025S090  
 NORRIS ESTATES Bk 14 Pg 29, 2001 NKA 2001P00029  
 RBD - R.B.Dill Surveys Doc 2016S003 & 2015S045

### LEGEND:

- 1/2" Rebar Set with Cap No.1296
- 1/2" Rebar Found, unless otherwise noted.
- ( ) - Record / Deeded Distance
- U/E - Utility Easement
- D/E - Drainage Easement
- B.S.L. - Building Setback Line
- R/W - Road Right of way
- Centerline
- § - Section Line
- BM - Benchmark
- POB - Point of Beginning
- POC - Point of Commencing
- //// - No Vehicle Entrance Access
- NS - Not Set this survey per agreement with client

Repeat Comment: Street name text not eligible



I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the month of April 2026 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring  
 PS # 1296

What is this?

PID

MIKIANIS, BRIAN  
 PID NO. 141-02...014.01

# STRANGER CREEK RANCH EAST

A Minor Subdivision in the East Half of the Northwest Quarter, Section 2, Township 10 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas.

## FINAL PLAT

PREPARED FOR:  
DAC Ventures, LLC  
24030 201st Street  
Leavenworth, KS 66048  
PID NO. 141-02-0-00-004

TRACT 3: Per recorded Doc #2026S023  
Tract of land in the East Half of the Northwest Quarter of Section 2, Township 10 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas, as written by Joseph A. Herring PS-1206 on February 21, 2026, more fully described as follows: Commencing at the Northwest corner of said Northwest Quarter; thence North 88 degrees 44'42" East for a distance of 1314.77 feet along the North line of said Northwest Quarter to the West line of the East Half of said Northwest Quarter and the TRUE POINT OF BEGINNING; thence continuing North 88 degrees 44'42" East for a distance of 543.20 feet along said North line; thence South 01 degrees 44'56" East for a distance of 943.21 feet; thence North 88 degrees 04'28" East for a distance of 453.44 feet to the West line of the Original Williams Stillings Tract per Deed Book 62 Page 110; thence South 56 degrees 04'52" West for a distance of 304.81 feet along said West line; thence South 36 degrees 19'52" West for a distance of 297.00 feet along said West line; thence South 07 degrees 04'52" West for a distance of 550.58 feet along said West line; thence North 88 degrees 00'15" West for a distance of 455.84 feet; thence South 88 degrees 16'02" West for a distance of 232.54 feet to the West line of said East Half; thence North 01 degrees 44'56" West for a distance of 1996.46 feet along said West line to the point of beginning. Together with and subject to covenants, easements, and restrictions of record. Said property contains 31.98 acres, more or less, including road right of way. Error of Closure: 1 - 618.819

CERTIFICATION AND DEDICATION  
The undersigned proprietors state that all taxes of the above described tract of land have been paid and that they have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be known as: STRANGER CREEK RANCH EAST.

Easements shown on this plat are hereby dedicated for public use, the rights of way which are shown with dashed lines on the accompanying plat, and said easements may be employed to locate and maintain sewers, water lines, gas lines, poles and wires and any other form of public utility now and hereafter used by the public over, under and along the strips marked "Utility Easement" (U/E).

"Drainage Easements" or "D/E" shown on this plat are hereby dedicated for the purpose of constructing, using, replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby dedicated for public use. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities. The maintenance and upkeep of said Easements shall be the responsibility of the individual owners of the lots whereupon said Easements are dedicated. Leavenworth County shall bear no responsibility for any maintenance and upkeep of said Easements.

Building Lines or Setback Lines (B.S.L.) are hereby established as shown on the accompanying plat and no building or portion thereof shall be built or constructed between this line and the street line.

IN TESTIMONY WHEREOF,  
We, the undersigned owners of STRANGER CREEK RANCH EAST, have set our hands this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

James A. Coyle, Manager  
DAC Ventures, LLC

NOTARY CERTIFICATE:  
Be it remembered that on this \_\_\_\_\_ day of \_\_\_\_\_, 2026, before me, a notary public in and for said County and State came James A. Coyle, Manager - DAC Ventures, LLC, to me personally known to be the same persons who executed the foregoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

NOTARY PUBLIC  
My Commission Expires: \_\_\_\_\_ (seal)

APPROVALS  
We, the Leavenworth County Planning Commission, do hereby approve the foregoing plat of STRANGER CREEK RANCH EAST this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Secretary  
John Jacobson

Chairman  
Jeff Spink

COUNTY ENGINEER'S APPROVAL:  
The County Engineer's plat review is only for general conformance with the subdivision regulations as adopted by Leavenworth County. The County is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

County Engineer - Mitch Pleak

COUNTY COMMISSION APPROVAL:  
We, the Board of County Commissioners of Leavenworth County, Kansas, do hereby approve the foregoing plat of STRANGER CREEK RANCH EAST this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Chairman  
Mike Stieben

County Clerk  
Attest: Fran Keppler

REGISTER OF DEED CERTIFICATE:  
Filed for Record as Document No. \_\_\_\_\_ on this \_\_\_\_\_ day of \_\_\_\_\_, 2026 at \_\_\_\_\_ o'clock \_\_\_\_\_ M in the Office of the Register of Deeds of Leavenworth County, Kansas,

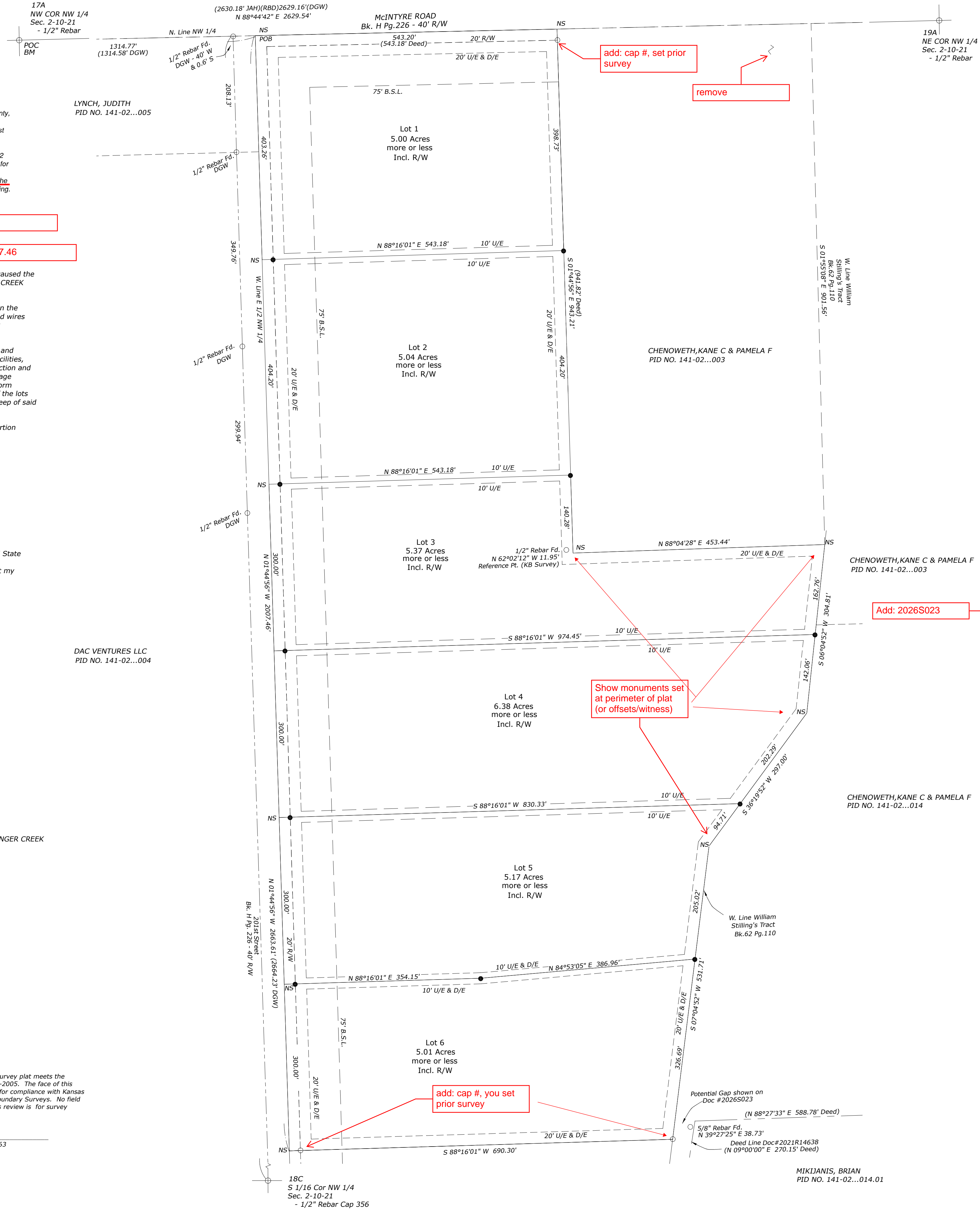
Register of Deeds - TerriLois G. Todd

I hereby certify that this survey plat meets the requirements of K.S.A. 58-2005. The face of this survey plat was reviewed for compliance with Kansas Minimum Standards for Boundary Surveys. No field verification is implied. This review is for survey information only.

Daniel Baumchen, PS#1363  
County Surveyor

BUTLER, TYRONE & JULIE  
PID NO. 117-035...003.13  
TRACT B - NORRIS ESTATES LOT SPLIT  
Doc. 5-15 Pg.15 2005, NKA2005S015

KERKAERT, ALAN JOSEPH  
PID NO. 117-035...003.06  
TRACT 8 - NORRIS ESTATES  
Bk 14 Pg 29, 2001 NKA 2001P00029

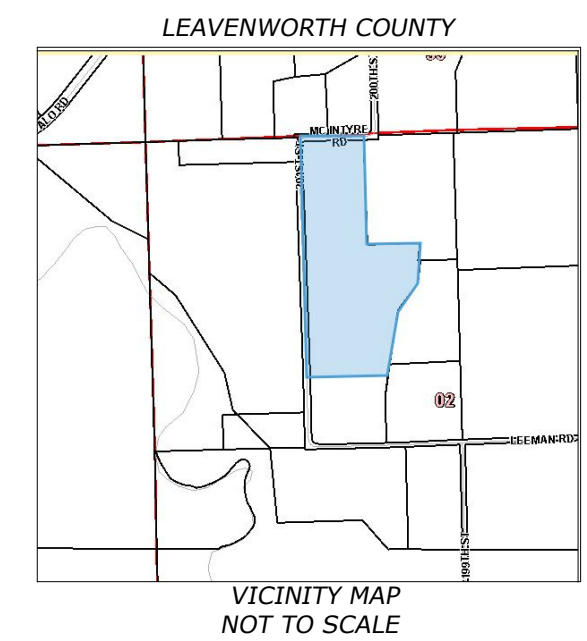


- RESTRICTIONS:
- 1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
  - 2) An Engineered Waste Disposal System may be required due to poor soil conditions.
  - 3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
  - 4) Lots are subject to the current Access Management Policy
  - 5) All structures built within the subdivision shall comply with Resolution 2020-39, or as amended.
  - 6) No off-plat restrictions.

ZONING:  
RR 5 - Rural Residential 5

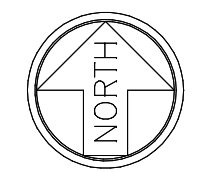
- NOTES:
- 1) This survey does not show ownership.
  - 2) All distances are calculated from measurements or measured this survey, unless otherwise noted.
  - 3) All recorded and measured distances are the same, unless otherwise noted.
  - 4) Error of Closure - See Descriptions
  - 5) Basis of Bearing - KS SPC North Zone 1501
  - 6) Monument Origin Unknown, unless otherwise noted.
  - 7) Existing and Proposed Lots for Agriculture and Residential Use.
  - 8) Road Record - See Survey
  - 9) Benchmark - NAVD88
  - 10) Project Benchmark (BM) - NW COR Section 2 - 1/2" Rebar - Elev - 880.8'
  - 11) Easements, if any, are created hereon or listed in referenced title commitment.
  - 12) Reference Recorded Deed Doc # 2026R01070
  - 13) Utility Companies -
    - Water - RWD 8
    - Electric - Every
    - Sewer - Septic / Lagoon
    - Gas - Propane / Natural Gas
  - 14) Reference First National Title Insurance Company File Number C25013626 dated October 30, 2025
  - 15) Property is not in a Special Flood Hazard Area per FEMA FIRM Map 20103C0225G dated July 16, 2015
  - 16) Building Setback Lines as shown hereon or noted below
    - All side yard setbacks - 15' (Accessory - 15')
    - All rear yard setbacks - 40' (Accessory - 15')
  - 17) Existing Structures, if any, shown in approximate location.
  - 18) Fence Lines do not necessarily denote the boundary line for the property.
  - 19) Reference Surveys:
    - DGW - D.G.White Survey Doc # 2010S022
    - KB - Kenneth Bloom Survey 57-232, 1966 NKA 1966S232
    - DEB - D.E.Baumchen High Prairie Township Survey
    - JAH - J.A.Herring Doc # 2025S090
    - NORRIS ESTATES Bk 14 Pg 29, 2001 NKA 2001P00029
    - RBD - R.B.Dill Surveys Doc 2016S003 & 2015S045

- LEGEND:
- - 1/2" Rebar Set with Cap No.1296
  - - 1/2" Rebar Found, unless otherwise noted.
  - ( ) - Record / Deeded Distance
  - U/E - Utility Easement
  - D/E - Drainage Easement
  - B.S.L. - Building Setback Line
  - R/W - Road Right of way
  - E - Centerline
  - § - Section Line
  - BM - Benchmark
  - POB - Point of Beginning
  - POC - Point of Commencing
  - //// - No Vehicle Entrance Access
  - NS - Not Set this survey per agreement with client



I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the month of April 2026 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring  
PS # 1296

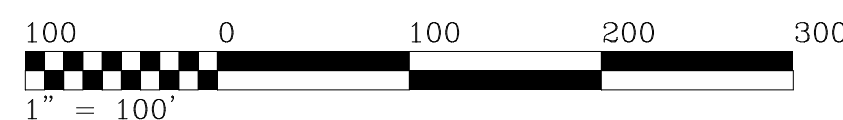


Scale 1" = 100'

Job # K-26-1976  
April 22, 2026 Rev. 6-1-26



315 North 5th Street, Leav., KS 66048  
Ph. 913.651.3858 Fax 913.674.5381  
Email - survey@herringks.com



MIKIANIS, BRIAN  
PID NO. 141-02...014.01

## Schweitzer, Joshua

---

**From:** Joe Herring <herringsurveying@outlook.com>  
**Sent:** Tuesday, April 28, 2026 3:14 PM  
**To:** Johnson, Melissa; PZ  
**Subject:** Fw: Stranger Creek Ranch East

Thank you - Joe Herring

---

J.Herring Inc., dba,Herring Surveying Company  
315 N. 5th Street, Leavenworth, KS 66048  
913-651-3858 - ROCK CHALK!

***FRAUD ALERT: Leavenworth County has been notified of multiple fraudulent emails requesting payment of fees to a non-agency account. All application fees are paid at the time of application and any additional required fees will be requested on official letterhead. Furthermore, the County does not have an online payment option. If you receive an email or letter requesting payment of fees that appears to come from the Leavenworth County Planning & Zoning Department or Planning Commission, please contact the office at 913.684.0465 before making any payments online or by phone.***

---

**From:** Jeff Simpson  
**Sent:** Tuesday, April 28, 2026 3:00 PM  
**To:** Joe Herring  
**Subject:** RE: Stranger Creek Ranch East  
**High Prairie Township Fire Department is good with the lot splits.**

### **Jeff Simpson**

Fire Chief  
High Prairie Township Fire Department  
Station: 913-297-0001  
Cell: 913-683-1383  
25093 187<sup>th</sup> Street, Leavenworth, Kansas 66048

---

**From:** Joe Herring  
**Sent:** Wednesday, April 22, 2026 11:52 AM  
**To:** PZ ; Rural Water ; Jeff Simpson ; Tyler Rebel ; Ashley VanNess  
**Subject:** Stranger Creek Ranch East  
Please provide the standard service letters for the proposed division.  
Sandra - the waterline upgrade contract should be included as well.  
All - if you could possibly provided statements as soon as possible that would be appreciated.  
Thank you - Joe Herring

---

J.Herring Inc., dba,Herring Surveying Company  
315 N. 5th Street, Leavenworth, KS 66048

## Schweitzer, Joshua

---

**From:** Tyler Rebel <tyler.rebel@evergy.com>  
**Sent:** Wednesday, April 22, 2026 12:08 PM  
**To:** Joe Herring; PZ  
**Cc:** Ashley VanNess  
**Subject:** RE: [EXTERNAL]Stranger Creek Ranch East  
**Attachments:** K-26-1976 Coyle STRANGER CREEK RANCH EAST PRELIM.pdf

Internal Use Only

Joe/LVCO,

The attached plat, Stranger Creek Ranch East, falls within Evergy's serving territory.

Thanks,

**Tyler Rebel**  
**Distribution Designer**  
**Evergy**  
[tyler.rebel@evergy.com](mailto:tyler.rebel@evergy.com)  
**O:** 913.758.2727  
[evergy.com](http://evergy.com)

---

**From:** Joe Herring  
**Sent:** Wednesday, April 22, 2026 11:52 AM  
**To:** PZ ; Rural Water ; Jeff Simpson ; Tyler Rebel ; Ashley VanNess  
**Subject:** [EXTERNAL]Stranger Creek Ranch East

**This Message Is From an External Sender**

This message came from outside your organization.

[Report Suspicious](#)

Please provide the standard service letters for the proposed division.

Sandra - the waterline upgrade contract should be included as well.

All - if you could possibly provided statements as soon as possible that would be appreciated.

Thank you - Joe Herring

---

J.Herring Inc., dba,Herring Surveying Company  
315 N. 5th Street, Leavenworth, KS 66048  
913-651-3858 - ROCK CHALK!

**FRAUD ALERT: Leavenworth County has been notified of multiple fraudulent emails requesting payment of fees to a non-agency account. All application fees are paid at the time of application and any additional required fees will be requested on official letterhead. Furthermore, the County does not have an online payment option. If you receive an email or letter requesting payment of fees that appears to come from the Leavenworth County Planning & Zoning Department or Planning Commission, please contact the office at 913.684.0465 before making any payments online or by phone.**

# Rural Water District #8

P.O. Box 246  
Leavenworth, KS 66048  
Phone: 913-796-2164  
Email: rwd8lv@gmail.com

Leavenworth County Planning and Zoning  
300 Walnut Street  
Suite 212  
Leavenworth, Kansas 66048

Date: April 23, 2026

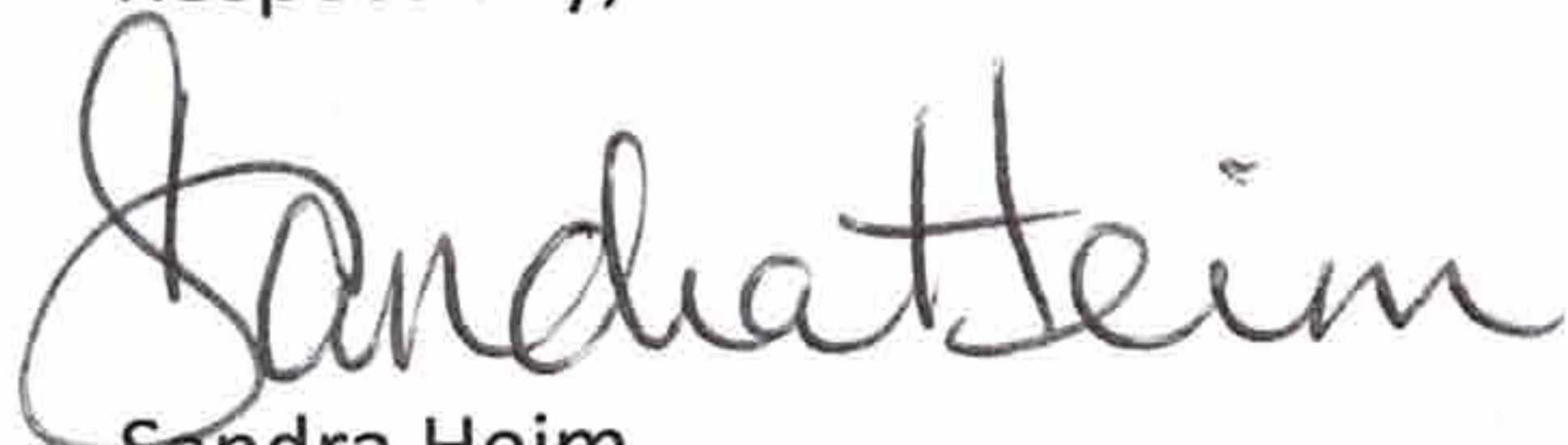
Subdivision: Stanger Creek Ranch East

Location: A minor subdivision in the east half of the northwest quarter, section 2, township 10 south, range 21 east of the 6<sup>th</sup> PM, Leavenworth County, KS.

Dear Director of Planning and Zoning & Staff:

Leavenworth County Rural Water District # 8 has determined that Jim Coyle, has met the upgrades needed to make Water and future Benefit Units for the lots available that were required by our policy and procedures.

Respectfully,



Sandra Heim  
Office Manager  
RWD # 8

*"Serving our members quality water since 1967"*



## Schweitzer, Joshua

---

**From:** Dedeke, Andrew <adedeke@lvsheriff.org>  
**Sent:** Wednesday, April 29, 2026 9:27 AM  
**To:** Schweitzer, Joshua  
**Subject:** RE: DEV-26-059 & 060 Preliminary & Final Plat Stranger Creek Ranch East - Herring

No concerns.

---

**From:** Schweitzer, Joshua  
**Sent:** Wednesday, April 29, 2026 9:09 AM  
**To:** McAfee, Joe ; Noll, Bill ; 'Mitch Pleak' ; Baumchen, Daniel ; Dedeke, Andrew ; Brown, Misty ; Miller, Jamie ; Dedeke, Andrew ; Magaha, Chuck  
**Cc:** PZ  
**Subject:** DEV-26-059 & 060 Preliminary & Final Plat Stranger Creek Ranch East - Herring

Good Morning,

The Leavenworth County Department of Planning and Zoning has received a request for a Preliminary & Final Plat for 5-lot subdivision located at 24030 201<sup>st</sup> St. (PID: 141-02-0-00-00-004).

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by May 13, 2026.

If you have any questions or need additional information, please contact me at (913) 684-0465 or at [pzmail@leavenworthcounty.gov](mailto:pzmail@leavenworthcounty.gov)

v / r

Joshua J. Schweitzer  
Planner II  
Leavenworth County Planning & Zoning  
300 Walnut St, Suite 212  
Leavenworth County, Kansas 66048  
(913) 684-0465

***FRAUD ALERT: Our office has been notified of multiple fraudulent emails requesting payment of fees to a non-agency account. All application fees are paid at the time of application and any additional required fees will be requested on official letterhead. Furthermore, the County does not have an online payment option. If you receive an email or letter requesting payment of fees that appears to come from the Leavenworth County Planning & Zoning Department or Planning Commission, please contact our office at 913.684.0465 before making any payments online or by phone. We appreciate your cooperation in this matter.***

### Disclaimer

*This message and any attachments are intended only for the use of the recipient or their authorized representative. The information provided in this email is limited in scope and response detail by available information, current zoning and subdivision regulations. Depending on the level of development, the applicable regulations can change. Final approval cannot be granted until a complete application has been submitted, reviewed*

## Schweitzer, Joshua

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**From:** Anderson, Kyle  
**Sent:** Friday, May 1, 2026 11:53 AM  
**To:** Schweitzer, Joshua  
**Subject:** RE: DEV-26-059 & 060 Preliminary & Final Plat Stranger Creek Ranch East - Herring

We have not received any complaints on this property, and we are not aware of any septic systems currently installed on it.

Kyle Anderson  
Environmental Technician/Code Enforcement  
Leavenworth County Planning & Zoning  
300 Walnut St. Ste. 212  
Leavenworth, KS 66048  
913-684-1084

***FRAUD ALERT: Our office has been notified of multiple fraudulent emails requesting payment of fees to a non-agency account. All application fees are paid at the time of application and any additional required fees will be requested on official letterhead. Furthermore, the County does not have an online payment option. If you receive an email or letter requesting payment of fees that appears to come from the Leavenworth County Planning & Zoning Department or Planning Commission, please contact our office at 913.684.0465 before making any payments online or by phone. We appreciate your cooperation in this matter.***

*Disclaimer: This message and any attachments are intended only for the use of the recipient or their authorized representative. The information provided in this email is limited in scope and response detail by available information, current zoning and subdivision regulations. Depending on the level of development, the applicable regulations can change. Final approval cannot be granted until a complete application has been submitted, reviewed and approved by the governing body. Nothing in this message or its contents should be interpreted to authorize or conclude approval by Leavenworth County.*

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**From:** Schweitzer, Joshua  
**Sent:** Wednesday, April 29, 2026 9:09 AM  
**To:** McAfee, Joe ; Noll, Bill ; 'Mitch Pleak' ; Baumchen, Daniel ; 'adedeke@lvsheriff.org' ; Brown, Misty ; Miller, Jamie ; 'adedeke@lvsheriff.org' ; Magaha, Chuck  
**Cc:** PZ  
**Subject:** DEV-26-059 & 060 Preliminary & Final Plat Stranger Creek Ranch East - Herring

Good Morning,

The Leavenworth County Department of Planning and Zoning has received a request for a Preliminary & Final Plat for 5-lot subdivision located at 24030 201<sup>st</sup> St. (PID: 141-02-0-00-00-004).

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by May 13, 2026.

If you have any questions or need additional information, please contact me at (913) 684-0465 or at [pzmail@leavenworthcounty.gov](mailto:pzmail@leavenworthcounty.gov)

v / r

Joshua J. Schweitzer  
Planner II

**Leavenworth County  
Request for Board Action  
Case No. DEV-26-064 & 065  
Preliminary & Final Plat Forge Farms CAE  
\*Consent Agenda\***

**Date: June 24, 2026  
To: Board of County Commissioners  
From: Planning & Zoning Staff**

**Department Head Review: John Jacobson, Reviewed**

**Additional Reviews as needed:**

**Budget Review  Administrator Review  Legal Review**

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**Action Request:**

Chairman, I find that the proposed Final Plat as outlined in case DEV-26-065 is compliant with the County Zoning & Subdivision Regulations and move that the proposed Final Plat be conditionally approved and accepted by this Board subject to the conditions set forth in the staff report and as adopted by the Planning Commission.

**Analysis:** The applicant is proposing to divide a 60-acre parcel into two (2) lots. The Subdivision is classified as a Class C with all lots lying within the Rural Growth Area of Leavenworth County. Staff is supportive of a waiver of the requirement to connect to a sanitary sewer system as sanitary sewers are not located within 660' of the subdivision (see condition 3). Lot 1 will be approximately 57 acres in size. Lots 2 will be approximately 3 acres in size.

The final plat meets the standards set forth in the Leavenworth County Zoning and Subdivision Regulations.

**Recommendation:** The Planning Commission voted 7-0 (2 absent) to recommend approval of Case No.DEV-26-065, Final Plat for Forge Farms CAE subject to conditions.

**Alternatives:**

1. Approve Case No. DEV-26-065, Final Plat for Forge Farms CAE, with Findings of Fact, and with or without conditions; or
2. Deny Case No. DEV-26-065, Final Plat for Forge Farms CAE, with Findings of Fact; or
3. Revise or Modify the Planning Commission Recommendation to Case No. DEV-26-065, Final Plat for Forge Farms CAE, with Findings of Fact; or
4. Remand the case back to the Planning Commission.

**Budgetary Impact:**

- Not Applicable
- Budgeted item with available funds
- Non-Budgeted item with available funds through prioritization
- Non-Budgeted item with additional funds requested

**Total Amount Requested:** \$0.00

**Additional Attachments:** Staff Report, Plat

**LEAVENWORTH COUNTY  
PLANNING COMMISSION  
STAFF REPORT**

**CASE NO:** DEV-26-064 & 065 Forge Farms CAE

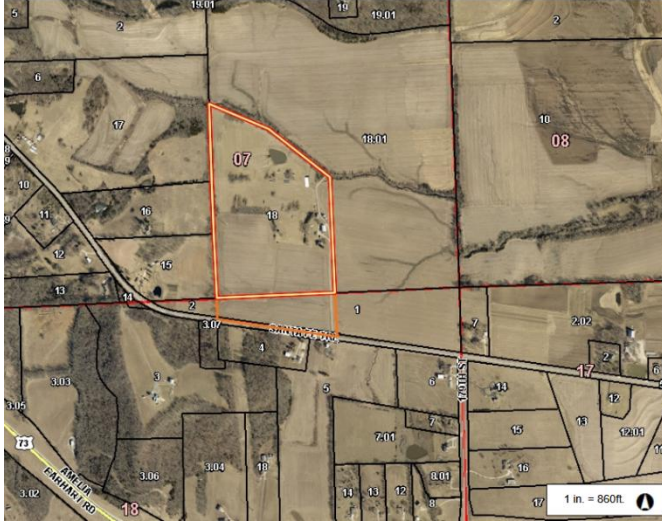
June 10, 2026

**REQUEST:** *Consent Agenda*

- Preliminary Plat                       Final Plat  
 Replat

**STAFF REPRESENTATIVE:**  
JOSH SCHWEITZER  
Planner II

**SUBJECT PROPERTY:** 18112 Santa Fe Trail



**APPLICANT/APPLICANT AGENT:**  
Joe Herring  
Herring Surveying Company

**PROPERTY OWNER:**  
Edward J. Forge, Trust  
Leavenworth, KS

**CONCURRENT APPLICATIONS:**  
NONE

**LAND USE**

**ZONING:** RR-2.5

**FUTURE LAND USE DESIGNATION:**  
RR-2.5

**LEGAL DESCRIPTION:**  
A Minor Subdivision in Section 7 and the Northeast Quarter of Section 18, Township 8 South, Range 22, East of the 6th P.M., in Leavenworth County Kansas.

**SUBDIVISION:** N/A  
**FLOODPLAIN:** N/A

**STAFF RECOMMENDATION:** APPROVAL

**PROPERTY INFORMATION**

**ACTION OPTIONS:**

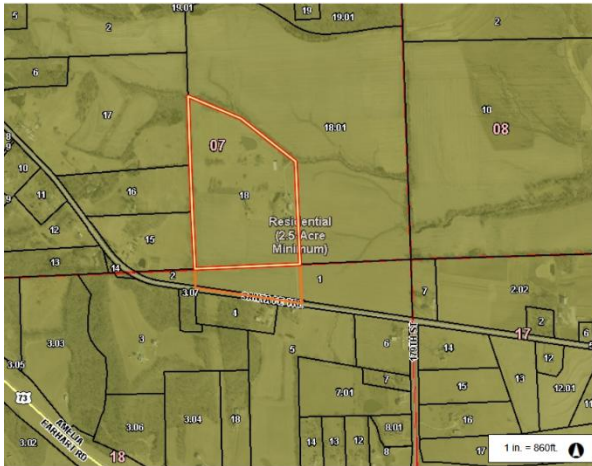
1. Recommend approval of Case No. DEV-26-064 & 065, Preliminary & Final Plat for Forge Farms CAE, to the Board of County Commissioners, with or without conditions; or
2. Recommend denial of Case No. DEV-26-064 & 065, Preliminary & Final Plat for Forge Farms CAE to the Board of County Commissioners for the following reasons; or
3. Continue the hearing to another date, time, and place.

**PARCEL SIZE:** 60.67 Acres  
**PARCEL ID NO:**  
073-07-0-00-00-018; 074-18-0-00-00-001  
**BUILDINGS:**  
Existing House & Outbuildings

**PROJECT SUMMARY:**  
Request for a preliminary & final plat approval to subdivide property located at 18112 Santa Fe Trail (PID #073-07-0-00-00-018; 074-18-0-00-00-001) as Lots 01 through 02 of Forge Farms CAE. A Cross Access Easement Subdivision.

**ACCESS/STREET:**  
Santa Fe Trail - Arterial, Paved ± 28';

**FUTURE LAND USE DESIGNATION MAP:**



**UTILITIES**

**SEWER:** Private Septic  
**FIRE:** Kickapoo  
**WATER:** RWD 2  
**ELECTRIC:** Evergy

**NOTICE & REVIEW:**

**STAFF REVIEW:**  
6/2/2026  
**NEWSPAPER NOTIFICATION:**  
N/A  
**NOTICE TO SURROUNDING PROPERTY OWNERS:**  
N/A

<b>STANDARDS TO BE CONSIDERED:</b>			
<b>Leavenworth County Zoning and Subdivision Standards: Preliminary Review</b>		<b>Met</b>	<b>Not Met</b>
35-40	<b>Preliminary Plat Content</b>	X	
40-20	<b>Final Plat Content</b>	X	
41-6	<b>Access Management</b>	X	
41-6.B.a-c.	<b>Entrance Spacing</b>	X	
41-6.C.	<b>Public Road Access Management Standards</b>	X	
43	<b>Cross Access Easements</b>	N/A	
50-20	<b>Utility Requirements</b>	X	
50-30	<b>Other Requirements</b>	X	
50-40	<b>Minimum Design Standards</b>	X	
50-50	<b>Sensitive Land Development</b>	N/A	
50-60.	<b>Dedication of Reservation of Public Sites and Open Spaces</b>	N/A	

**STAFF COMMENTS:**

The applicant is proposing to divide a 60-acre parcel into two (2) lots. The Subdivision is classified as a Class C with all lots lying within the Rural Growth Area of Leavenworth County. Staff is supportive of a waiver of the requirement to connect to a sanitary sewer system as sanitary sewers are not located within 660' of the subdivision (see condition 3). Lot 1 will be approximately 57 acres in size. Lots 2 will be approximately 3 acres in size. All lots meet the requirements for the RR-2.5 zoning district.

**PROPOSED CONDITIONS:**

1. Building permits shall be required for any new construction.
2. Erosion control shall be used when designing and constructing driveways. A form of sediment control shall be installed before work begins and maintained throughout the time that the land disturbing activities are taking place. Re-vegetation of all disturbed sites shall be completed within 45 days after completion of final grading weather permitting.
3. A waiver for the use of private septic systems within this subdivision is granted with this approval.
4. At time of development, fire hydrants shall be required, if necessary, infrastructure is available. If the infrastructure is not available to support fire hydrants, a letter from the Water District stating such must be provided prior to any building permit being issued.
5. Must provide updated plats in compliance with all outstanding review comments made by County Staff prior to recording.
6. The developer must comply with the following memorandums:  
 Email – Kickapoo FD, dated May 8, 2026

**PROPOSED MOTIONS:**

Approve case DEV-26-064/065, a request to plat the property located at 18112 Santa Fe Trail into a 2-lot Cross Access Easement subdivision in conformance with the Zoning and Subdivision Regulations with a majority vote; or

*Motion: Chairman, I find that the subdivision request complies with the Zoning and Subdivision Regulations and move to recommend approval to the Board of County Commissioners of the request as outlined in Case DEV-26-064/065 based on the recommendation of Planning Staff and the findings as set forth in the Staff Report.*

Deny case DEV-26-064/065, a request to plat the property located at 18112 Santa Fe Trail into a 2-lot Cross Access Easement not in conformance with the Zoning and Subdivision Regulations with a majority vote; or

*Motion: Chairman, I find that the subdivision request does not comply with the Zoning and Subdivision Regulations (list Article and Section #) and move to recommend denial to the Board of County Commissioners as outlined in Case DEV-26-064/065.*

Table the case to a date and time certain for additional information.

*Motion: Chairman, I move to table Case No. DEV-26-064/065 to (Date and Time) requesting additional information for (STATE THE REASON(S)).*

**ATTACHMENTS:**

A: Application & Narrative

B: Zoning Map

C: Road Map (A minimum of 1/4 mile)

D: Memorandums

**FINAL &  
PRELIMINARY PLAT APPLICATION**  
Leavenworth County Planning and Zoning Department  
300 Walnut St., Suite 212  
Leavenworth, Kansas  
913-684-0465

Office Use Only

Township: \_\_\_\_\_ Planning Commission Meeting Date: \_\_\_\_\_  
Case No. \_\_\_\_\_ Date Received/Paid: \_\_\_\_\_  
Zoning District \_\_\_\_\_ Comprehensive Plan Land Use Designation: \_\_\_\_\_

**APPLICANT/AGENT INFORMATION**

**OWNER INFORMATION**

NAME: Herring Surveying Company NAME: Edward J. Forge Trust  
MAILING ADDRESS: 315 North 5th Street MAILING ADDRESS 18112 SANTA FE TRAIL  
CITY/ST/ZIP: Leavenworth, KS 66048 CITY/ST/ZIP Leavenworth, KS 66048  
PHONE: \_\_\_\_\_ PHONE: N/A  
EMAIL: \_\_\_\_\_ EMAIL N/A

**GENERAL INFORMATION**

Proposed Subdivision Name: FORGE FARMS C.A.E.  
Address of Property: 18112 SANTA FE TRAIL  
PID: PID NO. 073-07-0-00-00-018 Urban Growth Management Area: N/A  
PID NO. 074-18-0-00-00-001

**SUBDIVISION INFORMATION**

Gross Acreage: <u>60 AC</u>	Number of Lots: <u>2</u>	Minimum Lot Size: <u>3 AC</u>
Maximum Lot Size: <u>57 AC</u>	Proposed Zoning: <u>RR 2.5</u>	Density: <u>N/A</u>
Open Space Acreage: <u>N/A</u>	Water District: <u>RWD 2</u>	Proposed Sewage: <u>Septic</u>
Fire District: <u>Kickapoo</u>	Electric Provider: <u>Evergy</u>	Natural Gas Provider: <u>Atmos / propane</u>
Covenants: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Road Classification: <u>Local - Collector - Arterial - State - Federal</u>	
	Cross-Access Easement Requested: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
List of all Requested Exceptions: <i>Exceptions may be granted per Article 56 or as otherwise stated in the Zoning &amp; Subdivision Regulations.</i>	1.	
	2.	
	3.	
	4.	
	5.	

Is any part of the site designated as Floodplain?  Yes  No if yes, what is the panel number:

I, the undersigned, am the owner, **duly authorized agent**, of the aforementioned property situated in the unincorporated portion of Leavenworth County, Kansas. By execution of my signature, I do hereby officially apply for a final plat approval as indicated above.

Signature: Joe Herring - digitally signed 4-6-26

Date: 4-6-26

**ATTACHMENT A**

# Lawyers Title of Kansas, Inc.



121 Express Lane, Suite A Lansing, KS 66043  
913-682-3368

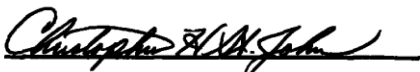
## OWNERS AND ENCUMBRANCE REPORT SCHEDULE A

1. Effective Date: **03/31/2026 07:00 AM** **Case No: 49805**
2. Title to the **Fee Simple** estate or interest in the land described or referred to in this Report is as the effective date hereof vested in:  
**Victoria L. Wells, Trustee, of the Edward J. Forge Declaration of Trust dated January 30, 1996, SHARE FBO Victoria L. Wells**
3. The land referred to in this Report is described as follows:  
**18112 Santa Fe Trail Leavenworth, KS 66048**

**See Page 2 Schedule A for Legal Description**

The undersigned is a duly licensed and qualified abstractor for the State of Kansas, a member in good standing of the Kansas Land Title Association and the American Land Title Association whose bond as required by law is in force at the date of this report.

**Lawyers Title of Topeka, Inc.**



**Abstractor**

# Lawyers Title of Kansas, Inc.

## OWNERS AND ENCUMBRANCE REPORT

### SCHEDULE A Legal Description

Case No.: 49805

A tract of land being in Section 7 and the Northeast Quarter of Section 18, Township 8 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas, as written by Joseph A. Herring PS-1296 on December 18, 2025, more fully described as follows: Beginning at the South Quarter corner of said Section 7; thence North 02 degrees 34'10" West for a distance of 1727.22 feet along a property line agreement dated February 16, 1954; thence North 03 degrees 41'47" West for a distance of 339.55 feet along said agreed line; thence South 67 degrees 14'01" East for a distance of 735.98 feet; thence South 51 degrees 50'17" East for a distance of 842.53 feet; thence South 02 degrees 06'45" East for a distance of 1664.70 feet the North right of way line of Santa Fe Trail, said point being in said Section 18; thence North 81 degrees 42'39" West for a distance of 394.00 feet along said right of way; thence South 08 degrees 17'21" West for a distance of 12.00 feet along said right of way; thence North 81 degrees 42'39" West for a distance of 915.33 feet along said right of way to a 1/2" Bar Cap LS-1296 on the West line of the Northeast Quarter of said Section 18; thence North 01 degrees 27'04" West for a distance of 227.83 feet along said West line to the point of beginning. Known as Tract A on Certificate of Survey recorded February 9, 2026 in Document No. 2026S010.

[The following is/are the last document(s) transferring title of record and are provided for informational purposes only:

Trustee's Deed dated March 26, 2026, executed by Victoria L. Wells, Trustee of the Edward J. Forge Declaration of Trust dated January 30, 1996, and any amendments thereto, to Victoria L. Wells, Trustee of the Edward J. Forge Declaration of Trust dated January 30, 1996, SHARE FBO Victoria L. Wells, filed March 26, 2026 at 3:39 PM, and recorded in Document No. 2026R02453.]

AFFIDAVIT

Authorization of Contractors or Individuals to Act as Agents of a Landowner  
COUNTY OF LEAVENWORTH  
STATE OF KANSAS

We/I VICTORIA L. Wells and \_\_\_\_\_

Being dully sworn, dispose and say that we/I are the owner(s) of said property located at -  
17201 Coffin RD Leav. KS, and that we authorize the following people or firms to act in our interest with the Leavenworth County Planning and Zoning Department for a period of one calendar year. Additionally, all statements herein contained in the information herewith submitted are in all respects true and correct to the best of our knowledge and belief.

Authorized Agents (full name, address & telephone number)

1) Joseph A. Herring – Herring Surveying Company 315 N. 5<sup>th</sup> Street, Leavenworth, KS 66048, 913-651-3858

2) Signed and entered this 24 day of Aug, 2025

VICTORIA L. Wells 913-240-6420  
Print Name, Address, Telephone

Victoria L. Wells  
Signature

STATE OF KANSAS                    )  
  ) SS  
COUNTY OF LEAVENWORTH )

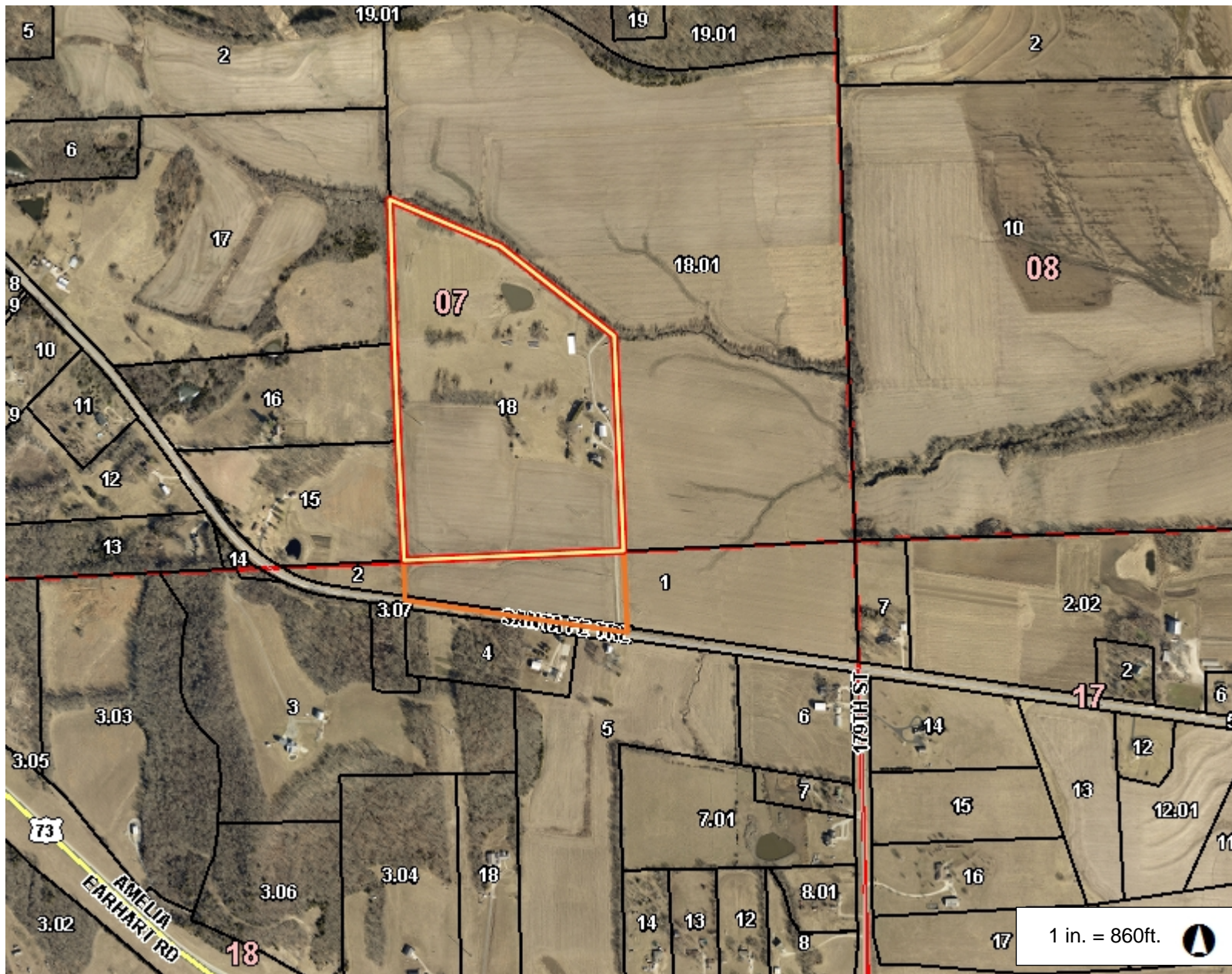
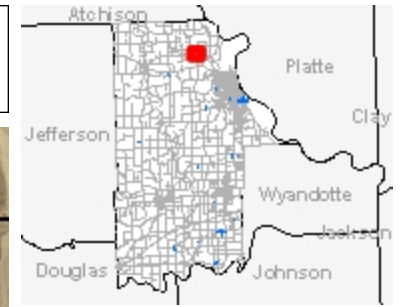
Be it remember that on this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_, before me, a notary public in and for said County and State came \_\_\_\_\_ to me personally known to be the same persons who executed the forgoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

NOTARY PUBLIC \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

(seal)

# Leavenworth County, KS



## Legend

- Parcel Number
- Parcel
- City Limit Line
- Major Road
  - <all other values>
  - 70
- Road
  - <all other values>
  - PRIVATE
- Railroad
- Section
- Section Boundaries
- County Boundary

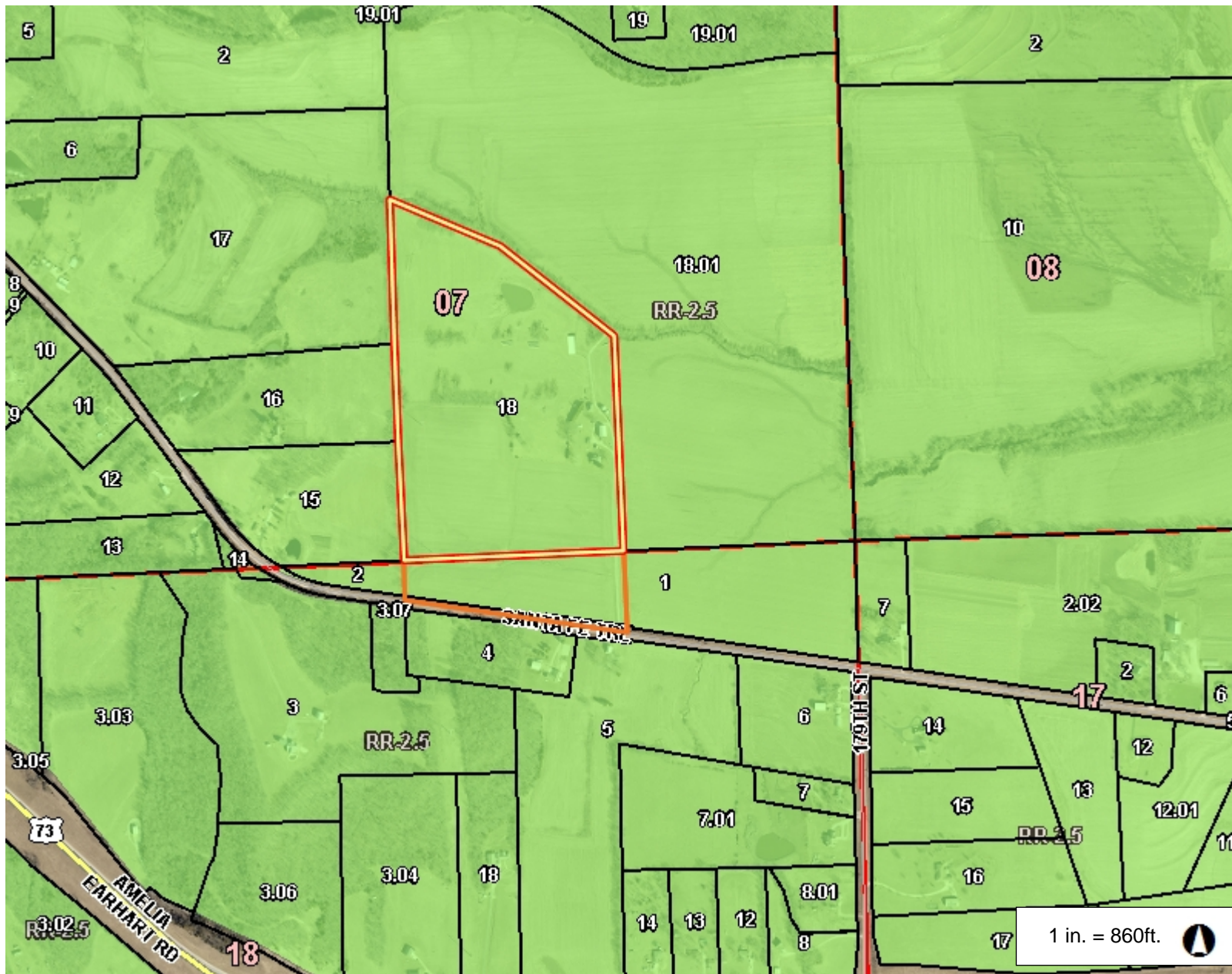
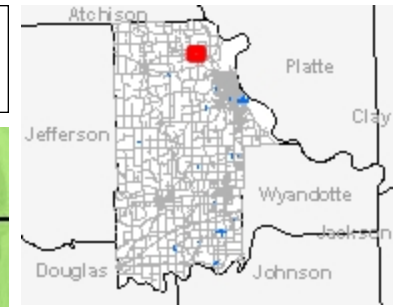
## Notes

1,719.5      0      859.75      1,719.5 Feet

This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

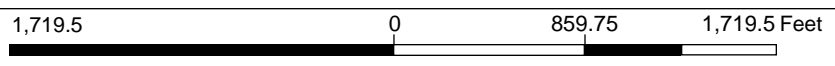
# Leavenworth County, KS



## Legend

- Parcel Number
- Parcel
- City Limit Line
- Major Road
  - <all other values>
  - 70
- Road
  - <all other values>
  - PRIVATE
- Railroad
- Section
- Section Boundaries
- County Boundary
- Zoning
  - B-1
  - B-2
  - B-3
  - I-1
  - I-2
  - I-3
  - MXD
  - PC
  - PI
  - PR-1
  - PR-2
  - PR-3

1 in. = 860ft.



This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.  
THIS MAP IS NOT TO BE USED FOR NAVIGATION

## Notes

6-01-26 PW Combined Review

Proposed exhibit DA#1 depicts an increase in impervious but the composite table DA#1 indicates a decrease. Revise.

Proposed exhibit DA#1 indicates an increase in gravel with the gravel drive extension. Composite table DA#1 doesn't indicate an increase. Revise.

Forge Farm Estates  
Leavenworth County Kansas  
Drainage Report  
March 14, 2026  
Revised May 31, 2026



# FORGE FARMS C.A.E.

A Cross Access Easement Plat in Section 7 and the Northeast Quarter of Section 18, Township 8 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas.

## FINAL PLAT

PREPARED FOR:

EDWARD J FORGE TRUST  
18112 SANTA FE TRAIL  
Leavenworth, KS 66048  
PID NO. 073-07-0-00-00-018  
PID NO. 074-18-0-00-00-001

RECORD DESCRIPTION: Doc # 2026R02453  
A tract of land being in Section 7 and the Northeast Quarter of Section 18, Township 8 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas, as written by Joseph A. Herring PS-1296 on December 18, 2025, more fully described as follows:  
Beginning at the South Quarter corner of said Section 7; thence North 02 degrees 34'10" West for a distance of 1727.22 feet along a property line agreement dated February 16, 1954; thence North 03 degrees 41'47" West for a distance of 339.55 feet along said agreed line; thence South 67 degrees 14'01" East for a distance of 735.98 feet; thence South 51 degrees 50'17" East for a distance of 842.53 feet; thence South 02 degrees 06'45" East for a distance of 1664.70 feet the North right of way line of Santa Fe Trail; said point being in said Section 18; thence North 81 degrees 42'39" West for a distance of 394.00 feet along said right of way; thence South 08 degrees 17'21" West for a distance of 12.00 feet along said right of way; thence North 81 degrees 42'39" West for a distance of 915.33 feet along said right of way to a 1/2" Bar Cap LS-1296 on the West line of the Northeast Quarter of said Section 18; thence North 01 degrees 27'04" West for a distance of 227.83 feet along said West line to the point of beginning.  
Together with and subject to covenants, easements and restrictions of record.  
Said property contains 60.67 acres, more or less.  
Error of Closure - 1 : 630224

**CERTIFICATION AND DEDICATION**  
The undersigned proprietors state that all taxes of the above described tract of land have been paid and that they have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be known as: FORGE FARMS C.A.E..

Easements shown on this plat are hereby dedicated for public use, the rights of way which are shown with dashed lines on the accompanying plat, and said easements may be employed to locate and maintain sewers, water lines, gas lines, poles and wires and any other form of public utility now and hereafter used by the public over, under and along the strips marked "Utility Easement" (U/E).

"Drainage Easements" or "D/E" shown on this plat are hereby dedicated for the purpose of constructing, using, replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby dedicated for public use. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities. The maintenance and upkeep of said Easements shall be the responsibility of the individual owners of the lots whereupon said Easements are dedicated. Leavenworth County shall bear no responsibility for any maintenance and upkeep of said Easements.

Building Lines or Setback Lines (B.S.L.) are hereby established as shown on the accompanying plat and no building or portion thereof shall be built or constructed between this line and the street line.

An easement to enter and exit under or over the area outlined and designated on this plat as "Cross Access Easement" or "C.A.E.", is hereby granted over all Lots. Home Owner's Association (H.O.A.) recorded at the Leavenworth County Register of Deeds Office Doc # 2026R

IN TESTIMONY WHEREOF,  
We, the undersigned owners of FORGE FARMS C.A.E., have set our hands this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Victoria L. Wells, Trustee  
EDWARD J FORGE TRUST

**NOTARY CERTIFICATE:**  
Be it remembered that on this \_\_\_\_\_ day of \_\_\_\_\_, 2026, before me, a notary public in and for said County and State came Victoria L. Wells, Trustee to the FORGE FARMS C.A.E., to me personally known to be the same persons who executed the foregoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

NOTARY PUBLIC  
My Commission Expires: \_\_\_\_\_ (seal)

**APPROVALS**  
We, the Leavenworth County Planning Commission, do hereby approve the foregoing plat of FORGE FARMS C.A.E. this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Secretary John Jacobson Chairman Jeff Spink

**COUNTY ENGINEER'S APPROVAL:**  
The County Engineer's plat review is only for general conformance with the subdivision regulations as adopted by Leavenworth County. The County is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

County Engineer - Mitch Pleak

**COUNTY COMMISSION APPROVAL:**  
We, the Board of County Commissioners of Leavenworth County, Kansas, do hereby approve the foregoing plat of FORGE FARMS C.A.E. this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Chairman Mike Stieben County Clerk Attest: Fran Keppler

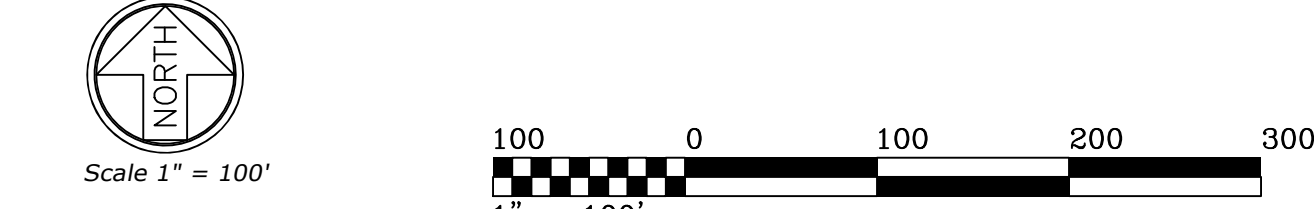
- LEGEND:
- - 1/2" Bar Set with Cap No.1296
- - 1/2" Bar Found, unless otherwise noted.
- ( ) - Record / Deeded Distance
- U/E - Utility Easement
- D/E - Drainage Easement
- B.S.L. - Building Setback Line
- R/W - Permanent Dedicated Roadway Easement
- Centerline
- Section Line
- BM - Benchmark
- POB - Point of Beginning
- POC - Point of Commencing
- //// - No Vehicle Entrance Access
- NS - Not Set this survey per agreement with client

**REGISTER OF DEED CERTIFICATE:**  
Filed for Record as Document No. \_\_\_\_\_ on this \_\_\_\_\_ day of \_\_\_\_\_, 2026 at \_\_\_\_\_ o'clock \_\_\_\_\_ M in the Office of the Register of Deeds of Leavenworth County, Kansas,

Register of Deeds - TerriLois G. Todd

I hereby certify that this survey plat meets the requirements of K.S.A. 58-2005. The face of this survey plat was reviewed for compliance with Kansas Minimum Standards for Boundary Surveys. No field verification is implied. This review is for survey information only.

Daniel Baumchen, PS#1363  
County Surveyor



Job # K-26-606  
April 6, 2026 Rev. May 31, 2026

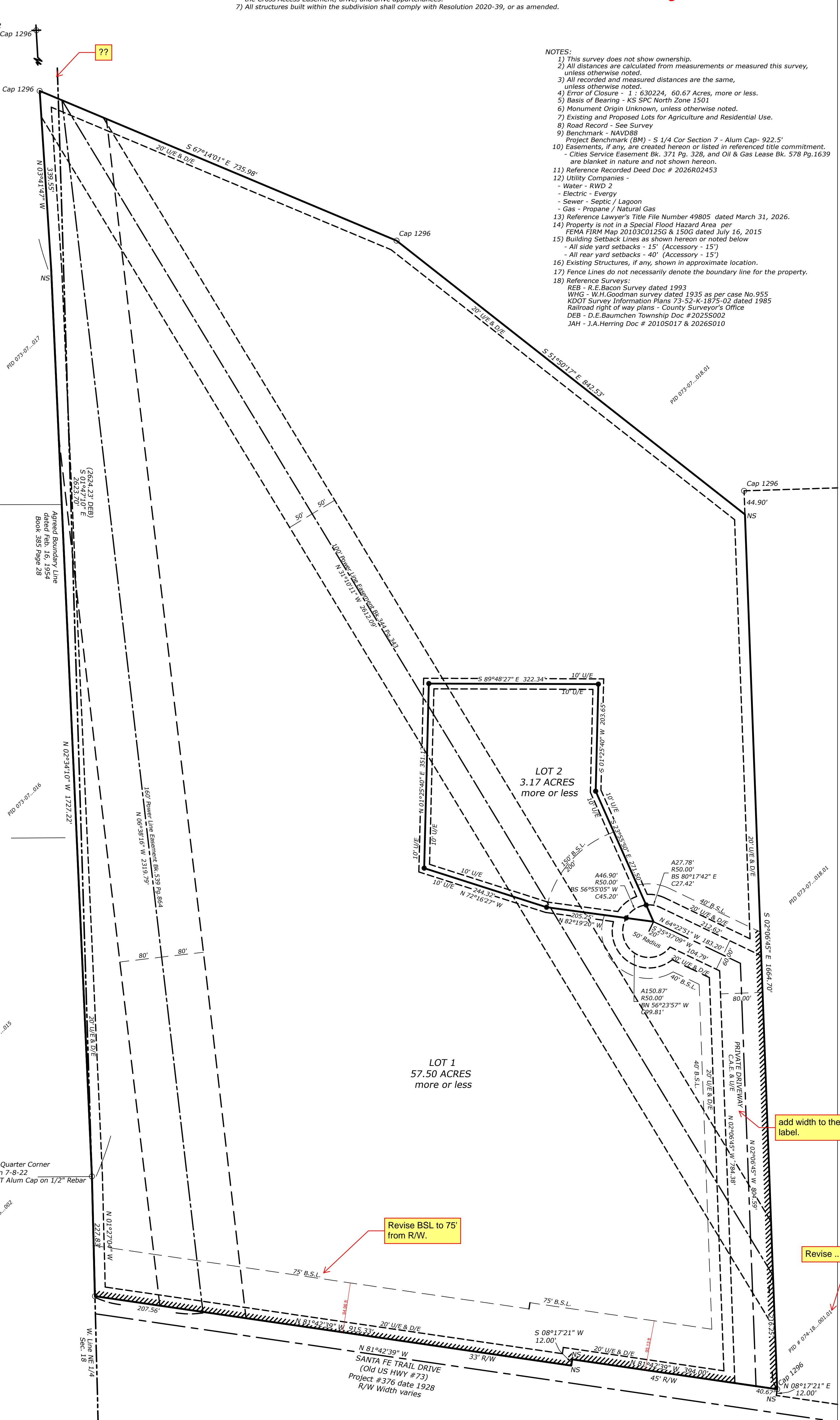
J. Herring & Co. Surveying Company  
315 North 5th Street, Leav., KS 66048  
Ph. 913.651.3858 Fax 913.674.5381  
Email - survey@camcash.com

ZONING:  
RR 2.5 - Rural Residential 2.5

- RESTRICTIONS:**
- 1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
  - 2) An Engineered Waste Disposal System may be required due to poor soil conditions.
  - 3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
  - 4) All Lots only have Access to the private Driveway through the Cross Access Easement.
  - 5) Lots are subject to the off-plat Home Owner's Association (HOA) detailing the maintenance of the Cross Access Easement. Lots are subject to all aspects of the HOA.
  - 6) Leavenworth County shall bear no responsibility for any maintenance and upkeep of the Cross Access Easement, drive, and drive appurtenances.
  - 7) All structures built within the subdivision shall comply with Resolution 2020-39, or as amended.

**06-01-26  
PW Combined  
Comments**

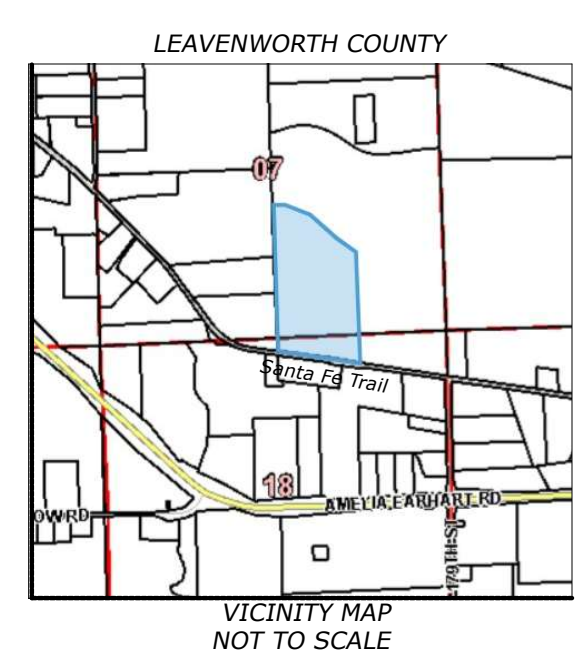
- NOTES:**
- 1) This survey does not show ownership.
  - 2) All distances are calculated from measurements or measured this survey, unless otherwise noted.
  - 3) All recorded and measured distances are the same, unless otherwise noted.
  - 4) Error of Closure - 1 : 630224, 60.67 Acres, more or less.
  - 5) Basis of Bearing - KS SPC North Zone 1501
  - 6) Monument Origin Unknown, unless otherwise noted.
  - 7) Existing and Proposed Lots for Agriculture and Residential Use.
  - 8) Road Record - See Survey
  - 9) Benchmark - NAVD88  
Project Benchmark (BM) - S 1/4 Cor Section 7 - Alum Cap- 922.5'
  - 10) Easements, if any, are created hereon or listed in referenced title commitment.  
- Cities Service Easement Bk. 371 Pg. 328, and Oil & Gas Lease Bk. 578 Pg.1639 are blanket in nature and not shown hereon.
  - 11) Reference Recorded Deed Doc # 2026R02453
  - 12) Utility Companies:  
- Water - RWD 2  
- Electric - Evergy  
- Sewer - Septic / Lagoon  
- Gas - Propane / Natural Gas
  - 13) Reference Lawyer's Title File Number 49805 dated March 31, 2026.
  - 14) Property is not in a Special Flood Hazard Area per FEMA FIRM Map 20103C0125G & 150G dated July 16, 2015
  - 15) Building Setback Lines as shown hereon or noted below  
- All side yard setbacks - 15' (Accessory - 15')  
- All rear yard setbacks - 40' (Accessory - 15')
  - 16) Existing Structures, if any, shown in approximate location.
  - 17) Fence Lines do not necessarily denote the boundary line for the property.
  - 18) Reference Surveys:  
REB - R.E. Bacon Survey dated 1993  
WHG - W.H. Goodman survey dated 1935 as per case No.955  
KDOT Survey Information Plans 73-52-K-1875-02 dated 1985  
Railroad right of way plans - County Surveyor's Office  
DEB - D.E. Baumchen Township Doc #2025S002  
JAH - J.A. Herring Doc # 2010S017 & 2026S010



Revise BSL to 75' from R/W.

add width to the label.

Revise ... 001.0



JOSEPH A. HERRING  
REGISTERED  
LAND SURVEYOR  
KS - 1296

I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the dates of March through April 2026 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring  
PS # 1296

# FORGE FARMS C.A.E.

A Cross Access Easement Plat in Section 7 and the Northeast Quarter of Section 18, Township 8 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas.

## PRELIMINARY PLAT

PREPARED FOR:  
 EDWARD J FORGE TRUST  
 18112 SANTA FE TRAIL  
 Leavenworth, KS 66048  
 PID NO. 073-07-0-00-00-018  
 PID NO. 074-18-0-00-00-001

RECORD DESCRIPTION:  
 A tract of land being in Section 7 and the Northeast Quarter of Section 18, Township 8 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas, as written by Joseph A. Herring PS-1296 on December 16, 2025, more fully described as follows:  
 Beginning at the South Quarter corner of said Section 7; thence North 02 degrees 34'10" West for a distance of 1727.22 feet along a property line agreement dated February 16, 1954; thence North 03 degrees 41'47" West for a distance of 339.55 feet along said agreed line; thence South 67 degrees 14'01" East for a distance of 735.98 feet; thence South 51 degrees 50'17" East for a distance of 842.53 feet; thence South 02 degrees 06'45" East for a distance of 1664.70 feet the North right of way line of Santa Fe Trail, said point being in said Section 18; thence North 91 degrees 42'39" West for a distance of 394.00 feet along said right of way; thence South 08 degrees 17'21" West for a distance of 12.00 feet along said right of way; thence North 81 degrees 42'39" West for a distance of 915.33 feet along said right of way to a 1/2" Bar Cap L5-1296 on the West line of the Northeast Quarter of said Section 18; thence North 01 degrees 27'04" West for a distance of 227.83 feet along said West line to the point of beginning.  
 Together with and subject to covenants, easements and restrictions of record. Said property contains 60.67 acres, more or less.  
 Error of Closure - 1 : 630224

03G  
 Center of  
 Section 7-8-22  
 1/2" Rebar Cap 1296

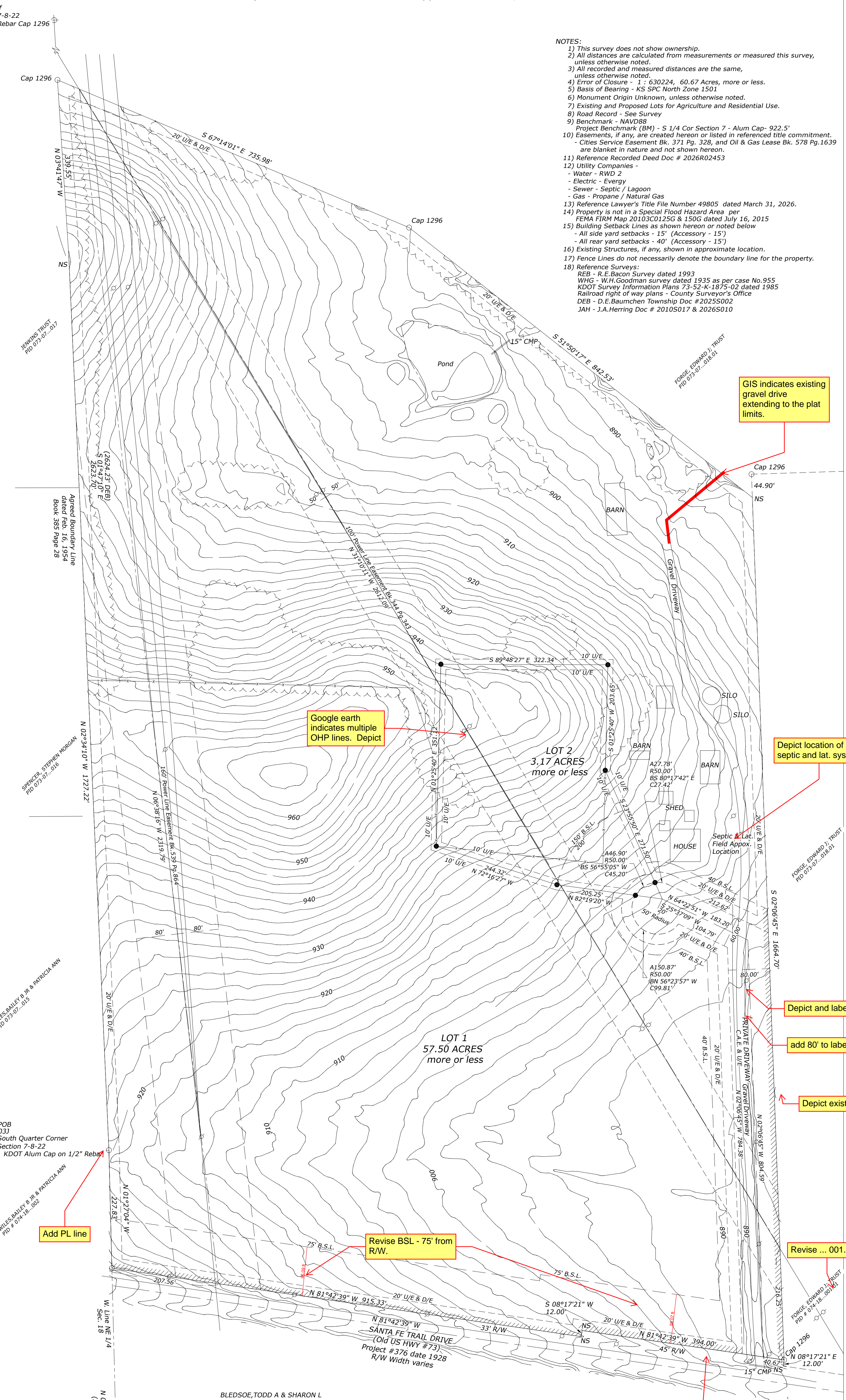
- LEGEND:**
- - 1/2" Bar Set with Cap No.1296
  - - 1/2" Bar Found, unless otherwise noted.
  - ( ) - Record / Deeded Distance
  - U/E - Utility Easement
  - D/E - Drainage Easement
  - B.S.L. - Building Setback Line
  - R/W - Permanent Dedicated Roadway Easement
  - ⊕ - Centerline
  - Section Line
  - BM - Benchmark
  - POB - Point of Beginning
  - POC - Point of Commencing
  - //// - No Vehicle Entrance Access
  - NS - Not Set this survey per agreement with client
  - ⊙ - Power Pole
  - Fence Line
  - OHP - Overhead Power Lines
  - T - Underground Telephone/Fiber Optic Line
  - ⊕ - Gas Valve
  - ⊕ - Water Meter/Valve
  - ⊕ - Telephone Pedestal
  - ⊕ - 6" Water Line - location as per district
  - Tree/Brush Line

ZONING:  
 RR 2.5 - Rural Residential 2.5

- RESTRICTIONS:**
- 1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
  - 2) An Engineered Waste Disposal System may be required due to poor soil conditions.
  - 3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
  - 4) All Lots only have Access to the private driveway through the Cross Access Easement.
  - 5) Lots are subject to the off-plot Home Owner's Association (HOA) detailing the maintenance of the Cross Access Easement. Lots are subject to all aspects of the HOA.
  - 6) Leavenworth County shall bear no responsibility for any maintenance and upkeep of the Cross Access Easement, drive, and drive appurtenances.
  - 7) All structures built within the subdivision shall comply with Resolution 2020-39, or as amended.

06-01-26  
 PW Combined  
 Comments

- NOTES:**
- 1) This survey does not show ownership.
  - 2) All distances are calculated from measurements or measured this survey, unless otherwise noted.
  - 3) All recorded and measured distances are the same, unless otherwise noted.
  - 4) Error of Closure - 1 : 630224, 60.67 Acres, more or less.
  - 5) Basis of Bearing - KS SPC North Zone 1501
  - 6) Monument Origin Unknown, unless otherwise noted.
  - 7) Existing and Proposed Lots for Agriculture and Residential Use.
  - 8) Road Record - See Survey
  - 9) Benchmark - NAVD88  
 Project Benchmark (BM) - S 1/4 Cor Section 7 - Alum Cap - 922.5'
  - 10) Easements, if any, are created hereon or listed in referenced title commitment.  
 - Cities Service Easement Bk. 371 Pg. 328, and Oil & Gas Lease Bk. 578 Pg.1639 are blanket in nature and not shown hereon.
  - 11) Reference Recorded Deed Doc # 2026R02453
  - 12) Utility Companies  
 - Water - RWD 2  
 - Electric - Evergy  
 - Sewer - Septic / Lagoon  
 - Gas - Propane / Natural Gas
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  - 14) Property is not in a Special Flood Hazard Area per FEMA FIRM Map 20103C0125G & 150G dated July 16, 2015
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 - All side yard setbacks - 15' (Accessory - 15')  
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 Railroad right of way plans - County Surveyor's Office  
 DEB - D.E.Baumchen Township Doc #2025S002  
 JAH - J.A.Herring Doc # 2010S017 & 2026S010



GIS indicates existing gravel drive extending to the plat limits.

Google earth indicates multiple OHP lines. Depict

Depict location of septic and lat. system

Depict and label OHP

add 80' to label

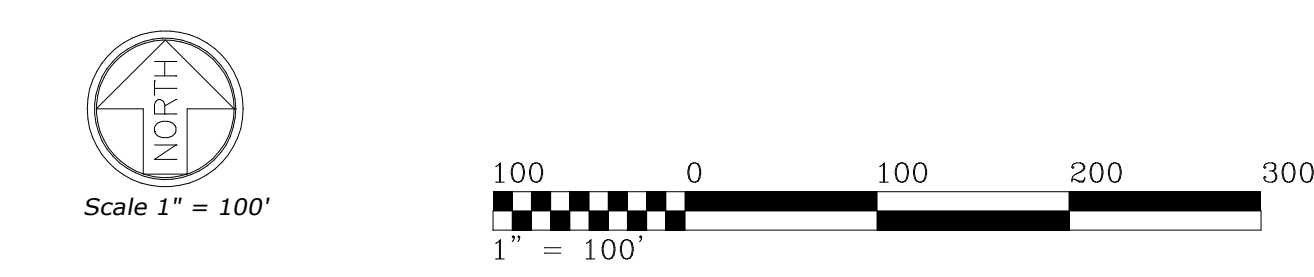
Depict exist PL line

Add PL line

Revise BSL - 75' from R/W.

Revise ... 001.00-0

Depict OHP line and label



Job # K-26-606  
 April 6, 2026 Rev. May 31, 2026

**J. HERRING SURVEYING COMPANY**  
 315 North 5th Street, Leav., KS 66048  
 Ph. 913.651.3858 Fax 913.674.5381  
 Email - survey@eamcash.com



BLEDSON, TODD A. & SHARON L  
 PID #074-18...004

POB  
 03J  
 South Quarter Corner  
 Section 7-8-22  
 KDOT Alum Cap on 1/2" Rebar

WILES, BAILEY B. & PATRICIA ANN  
 PID #073-07...016

SEWICOR, STEPHEN NORRIS  
 PID #073-07...016

WILES, BAILEY B. & PATRICIA ANN  
 PID #073-07...016

WILES, BAILEY B. & PATRICIA ANN  
 PID #073-07...016

WILES, BAILEY B. & PATRICIA ANN  
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WILES, BAILEY B. & PATRICIA ANN  
 PID #073-07...016

03L  
 Center of  
 Section 18-8-22  
 KDOT Alum Cap on 1/2" Rebar

# FORGE FARMS C.A.E.

A Cross Access Easement Plat in Section 7 and the Northeast Quarter of Section 18, Township 8 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas.

## FINAL PLAT

PREPARED FOR:  
EDWARD J FORGE TRUST  
18112 SANTA FE TRAIL  
Leavenworth, KS 66048  
PID NO. 073-07-0-00-018  
PID NO. 074-18-00-00-001

RECORD DESCRIPTION: Doc # 2026R02453  
A tract of land being in Section 7 and the Northeast Quarter of Section 18, Township 8 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas, as written by Joseph A. Herring PS-1296 on December 18, 2025, more fully described as follows:  
Beginning at the South Quarter corner of said Section 7; thence North 02 degrees 34'10" West for a distance of 1727.22 feet along a property line agreement dated February 16, 1954; thence North 03 degrees 41'47" West for a distance of 339.55 feet along said agreed line; thence South 67 degrees 14'01" East for a distance of 735.98 feet; thence South 51 degrees 50'17" East for a distance of 842.53 feet; thence South 02 degrees 06'45" East for a distance of 1664.70 feet the North right of way line of Santa Fe Trail; said point being in said Section 18; thence North 81 degrees 42'39" West for a distance of 394.00 feet along said right of way; thence South 08 degrees 17'21" West for a distance of 12.00 feet along said right of way; thence North 81 degrees 42'39" West for a distance of 915.33 feet along said right of way to a 1/2" Bar Cap 15-1296 on the West line of the Northeast Quarter of said Section 18; thence North 01 degrees 27'04" West for a distance of 227.83 feet along said West line to the point of beginning.  
Together with and subject to covenants, easements and restrictions of record.  
Said property contains 60.67 acres, more or less.  
Error of Closure - 1 : 630224

CERTIFICATION AND DEDICATION  
The undersigned proprietors state that all taxes of the above described tract of land have been paid and that they have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be known as: FORGE FARMS C.A.E..

Easements shown on this plat are hereby dedicated for public use, the rights of way which are shown with dashed lines on the accompanying plat, and said easements may be employed to locate and maintain sewers, water lines, gas lines, poles and wires and any other form of public utility now and hereafter used by the public over, under and along the strips marked "Utility Easement" (U/E).

"Drainage Easements" or "D/E" shown on this plat are hereby dedicated for the purpose of constructing, using, replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby dedicated for public use. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities. The maintenance and upkeep of said Easements shall be the responsibility of the individual owners of the lots whereupon said Easements are dedicated. Leavenworth County shall bear no responsibility for any maintenance and upkeep of said Easements.

Building Lines or Setback Lines (B.S.L.) are hereby established as shown on the accompanying plat and no building or portion thereof shall be built or constructed between this line and the street line.

An easement to enter and exit under or over the area outlined and designated on this plat as "Cross Access Easement" or "C.A.E.", is hereby granted over all Lots. Home Owner's Association (H.O.A.) recorded at the Leavenworth County Register of Deeds Office Doc # 2026R

IN TESTIMONY WHEREOF,  
We, the undersigned owners of FORGE FARMS C.A.E., have set our hands this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Victoria L. Wells, Trustee  
EDWARD J FORGE TRUST

NOTARY CERTIFICATE:  
Be it remembered that on this \_\_\_\_\_ day of \_\_\_\_\_, 2026, before me, a notary public in and for said County and State came Victoria L. Wells, Trustee to the FORGE FARMS C.A.E., to me personally known to be the same persons who executed the foregoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

NOTARY PUBLIC  
My Commission Expires: \_\_\_\_\_ (seal)

APPROVALS  
We, the Leavenworth County Planning Commission, do hereby approve the foregoing plat of FORGE FARMS C.A.E. this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Secretary John Jacobson Chairman Jeff Spink

COUNTY ENGINEER'S APPROVAL:  
The County Engineer's plat review is only for general conformance with the subdivision regulations as adopted by Leavenworth County. The County is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

County Engineer - Mitch Pleak

COUNTY COMMISSION APPROVAL:  
We, the Board of County Commissioners of Leavenworth County, Kansas, do hereby approve the foregoing plat of FORGE FARMS C.A.E. this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Chairman Mike Stieben County Clerk Attest: Fran Keppler

LEGEND:  
● - 1/2" Bar Set with Cap No.1296  
○ - 1/2" Bar Found, unless otherwise noted.  
( ) - Record / Deeded Distance  
U/E - Utility Easement  
D/E - Drainage Easement  
B.S.L. - Building Setback Line  
R/W - Permanent Dedicated Roadway Easement  
— Centerline  
— Section Line  
BM - Benchmark  
POB - Point of Beginning  
POC - Point of Commencing  
//// - No Vehicle Entrance Access  
NS - Not Set this survey per agreement with client

REGISTER OF DEED CERTIFICATE:  
Filed for Record as Document No. \_\_\_\_\_ on this \_\_\_\_\_ day of \_\_\_\_\_, 2026 at \_\_\_\_\_ o'clock \_\_\_\_\_ M in the Office of the Register of Deeds of Leavenworth County, Kansas,

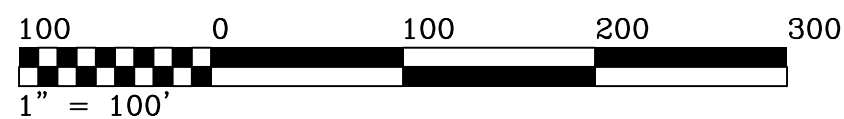
Register of Deeds - TerriLois G. Todd

I hereby certify that this survey plat meets the requirements of K.S.A. 58-2005. The face of this survey plat was reviewed for compliance with Kansas Minimum Standards for Boundary Surveys. No field verification is implied. This review is for survey information only.

Daniel Baumchen, PS#1363  
County Surveyor



Scale 1" = 100'



Job # K-26-606  
April 6, 2026 Rev. May 31, 2026

J. HERRING  
SURVEYING  
COMPANY  
315 North 5th Street, Leav., KS 66048  
Ph. 913.651.3858 Fax 913.674.5381  
Email - survey@camcosh.com

ZONING:  
RR 2.5 - Rural Residential 2.5

### RESTRICTIONS:

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### NOTES:

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Project Benchmark (BM) - S 1/4 Cor Section 7 - Alum Cap- 922.5'
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- 12) Utility Companies  
- Water - RWD 2  
- Electric - Evergy  
- Sewer - Septic / Lagoon  
- Gas - Propane / Natural Gas
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REB - R.E. Bacon Survey dated 1993  
WHG - W.H. Goodman survey dated 1935 as per case No.955  
KDOT Survey Information Plans 73-52-K-1875-02 dated 1985  
Railroad right of way plans - County Surveyor's Office  
DEB - D.E. Baumchen Township Doc #2025S002  
JAH - J.A. Herring Doc # 2010S017 & 2026S010

Add Leader

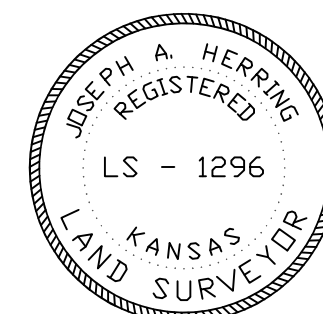
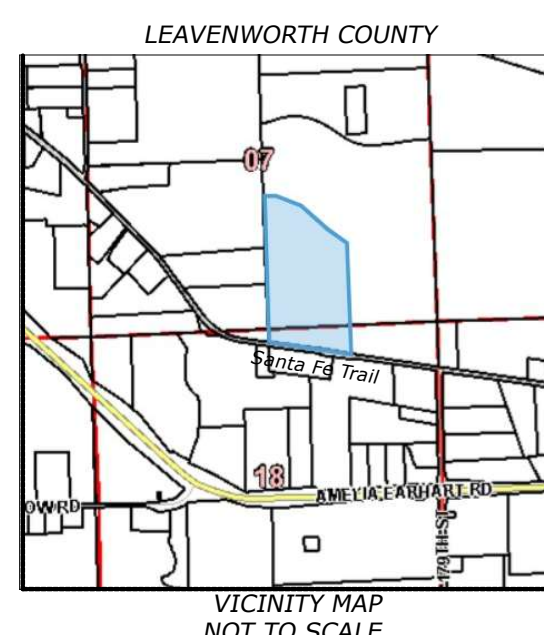
Add Leader for 2623.70 dimension and align with section line

3.27

57.40

LOT 2  
3.17 ACRES  
more or less

LOT 1  
57.50 ACRES  
more or less



I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the dates of March through April 2026 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring  
PS # 1296

## Schweitzer, Joshua

---

**From:** John McEvoy Sr. <johnmcevoysr@yahoo.com>  
**Sent:** Friday, May 8, 2026 2:41 PM  
**To:** Johnson, Melissa  
**Subject:** Re: Purveyance Ltrs for 18112 Santa Fe Trail, Forge Farms CAE

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

Kickapoo doesnt not object to the presented plans. We only remind to follow rules and codes set forth by the Kansas Fire Marshall Office and when making driveway entrances room is allotted for responders.

Thank you

John McEvoy

Kickapoo TWP Fire Dept

[Yahoo Mail: Search, Organize, Conquer](#)

On Wed, Apr 29, 2026 at 4:55 PM, Johnson, Melissa wrote:

The Leavenworth County Department of Planning & Zoning has received a request for a Preliminary and Final Plat for Forge Farms Pre & Final Plat.

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us within the next couple days.

If you have any questions or need additional information, please contact me at (913) 684-0465 or at pzmail@leavenworthcounty.gov.

Thank you,

**Melissa Johnson**

Planner I

Leavenworth County

Planning & Zoning Department

Leavenworth County Courthouse

300 Walnut St, Suite 212

Leavenworth County, Kansas 66048

(913) 684-0465

## Schweitzer, Joshua

---

**From:** Dedeke, Andrew <adedeke@lvsheriff.org>  
**Sent:** Tuesday, May 12, 2026 12:19 PM  
**To:** Schweitzer, Joshua  
**Subject:** RE: DEV-26-064 & 065 Preliminary & Final Plat Creekstone Ridge 2nd Plat - Herring

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

No concerns.

---

**From:** Schweitzer, Joshua  
**Sent:** Tuesday, May 12, 2026 12:11 PM  
**To:** McAfee, Joe ; Noll, Bill ; Baumchen, Daniel ; 'Mitch Pleak' ; Brown, Misty ; Yatsula, Anne Marie ; Miller, Jamie ; Dedeke, Andrew ; Magaha, Chuck  
**Cc:** PZ  
**Subject:** DEV-26-064 & 065 Preliminary & Final Plat Creekstone Ridge 2nd Plat - Herring

Good Afternoon,

The Leavenworth County Department of Planning and Zoning has received a request for a Replat of Lots 3 & 5 of Creekstone Ridge into a 7-lot subdivision located at 18112 Santa Fe Trail. (PID: 073-07-0-00-00-018; 074-18-0-00-00-001).

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by May 27, 2026.

If you have any questions or need additional information, please contact me at (913) 684-0465 or at [pzmail@leavenworthcounty.gov](mailto:pzmail@leavenworthcounty.gov)

v / r

Joshua J. Schweitzer  
Planner II  
Leavenworth County Planning & Zoning  
300 Walnut St, Suite 212  
Leavenworth County, Kansas 66048  
(913) 684-0465

***FRAUD ALERT: Our office has been notified of multiple fraudulent emails requesting payment of fees to a non-agency account. All application fees are paid at the time of application and any additional required fees will be requested on official letterhead. Furthermore, the County does not have an online payment option. If you receive an email or letter requesting payment of fees that appears to come from the Leavenworth County Planning & Zoning Department or Planning Commission, please contact our office at 913.684.0465 before making any payments online or by phone. We appreciate your cooperation in this matter.***

Disclaimer

## Schweitzer, Joshua

---

**From:** Tim Goetz <tmgoetz@stjoewireless.com>  
**Sent:** Thursday, April 30, 2026 9:46 AM  
**To:** Johnson, Melissa  
**Cc:** kglover@garney.com  
**Subject:** RE: Purveyance Ltrs for 18112 Santa Fe Trail, Forge Farms CAE

I have reviewed the above referenced Forge Farm Plat. Leavenworth RWD 2 does have a 2" line running parallel to Santa Fe Trail on the North side of the road that is not shown. The plat does show an easement access for us to provide water. The Plat is good for us. Please contact me if you have any questions. 913-704-5899

**From:** "Johnson, Melissa"  
**Sent:** 4/29/26 4:55 PM  
**To:** "johnmcevoysr@yahoo.com" , "Design Group Leavenworth" , "tmgoetz@stjoewireless.com"  
**Cc:** "PZ" , "Joe Herring"  
**Subject:** Purveyance Ltrs for 18112 Santa Fe Trail, Forge Farms CAE

[The Leavenworth County Department of Planning & Zoning has received a request for a Preliminary and Final Plat for Forge Farms Pre & Final Plat.](#)

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If you have any questions or need additional information, please contact me at (913) 684-0465 or at [pzmail@leavenworthcounty.gov](mailto:pzmail@leavenworthcounty.gov).

Thank you,

Melissa Johnson

Planner I

Leavenworth County

Planning & Zoning Department

Leavenworth County Courthouse

300 Walnut St, Suite 212

Leavenworth County, Kansas 66048

(913) 684-0465

**FRAUD ALERT:**

*Our office has been notified of multiple fraudulent emails requesting payment of fees to a non-agency account. All application fees are paid at the time of application and any additional required fees will be requested on official letterhead. Furthermore, the County does not have an online payment option. If you receive an email or letter requesting payment of fees that appears to come from the Leavenworth County Planning & Zoning Department or Planning Commission, please*

## Schweitzer, Joshua

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**From:** Anderson, Kyle  
**Sent:** Thursday, May 21, 2026 10:38 AM  
**To:** Schweitzer, Joshua  
**Subject:** RE: DEV-26-064 & 065 Preliminary & Final Plat Creekstone Ridge 2nd Plat - Herring

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

We have not received any complaints on this property, and it appears the septic system currently installed will remain on the same property as the home it services.

Kyle Anderson  
Environmental Technician/Code Enforcement  
Leavenworth County Planning & Zoning  
300 Walnut St. Ste. 212  
Leavenworth, KS 66048  
913-684-1084

**FRAUD ALERT:** *Our office has been notified of multiple fraudulent emails requesting payment of fees to a non-agency account. All application fees are paid at the time of application and any additional required fees will be requested on official letterhead. Furthermore, the County does not have an online payment option. If you receive an email or letter requesting payment of fees that appears to come from the Leavenworth County Planning & Zoning Department or Planning Commission, please contact our office at 913.684.0465 before making any payments online or by phone. We appreciate your cooperation in this matter.*

*Disclaimer: This message and any attachments are intended only for the use of the recipient or their authorized representative. The information provided in this email is limited in scope and response detail by available information, current zoning and subdivision regulations. Depending on the level of development, the applicable regulations can change. Final approval cannot be granted until a complete application has been submitted, reviewed and approved by the governing body. Nothing in this message or its contents should be interpreted to authorize or conclude approval by Leavenworth County.*

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**From:** Schweitzer, Joshua  
**Sent:** Tuesday, May 12, 2026 12:11 PM  
**To:** McAfee, Joe ; Noll, Bill ; Baumchen, Daniel ; 'Mitch Pleak' ; Brown, Misty ; Yatsula, Anne Marie ; Miller, Jamie ; 'adedeke@lvsheriff.org' ; Magaha, Chuck  
**Cc:** PZ  
**Subject:** DEV-26-064 & 065 Preliminary & Final Plat Creekstone Ridge 2nd Plat - Herring

Good Afternoon,

The Leavenworth County Department of Planning and Zoning has received a request for a Replat of Lots 3 & 5 of Creekstone Ridge into a 7-lot subdivision located at 18112 Santa Fe Trail. (PID: 073-07-0-00-00-018; 074-18-0-00-00-001).

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by May 27, 2026.

If you have any questions or need additional information, please contact me at (913) 684-0465 or at [pzmail@leavenworthcounty.gov](mailto:pzmail@leavenworthcounty.gov)

## Schweitzer, Joshua

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**From:** Tyler Rebel <Tyler.Rebel@evergy.com>  
**Sent:** Thursday, April 30, 2026 10:21 AM  
**To:** Johnson, Melissa  
**Subject:** RE: [EXTERNAL]Purveyance Ltrs for 18112 Santa Fe Trail, Forge Farms CAE

Internal Use Only

No comment,

Thank you,

**Tyler Rebel**  
**Distribution Designer**  
**Evergy**  
[tyler.rebel@evergy.com](mailto:tyler.rebel@evergy.com)  
**O:** 913.758.2727  
[evergy.com](http://evergy.com)

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**From:** Johnson, Melissa  
**Sent:** Wednesday, April 29, 2026 4:55 PM  
**To:** 'johnmcevoysr@yahoo.com' ; Design Group Leavenworth ; 'tmgoetz@stjoewireless.com'  
**Cc:** PZ ; 'Joe Herring'  
**Subject:** [EXTERNAL]Purveyance Ltrs for 18112 Santa Fe Trail, Forge Farms CAE

**This Message Is From an External Sender**

This message came from outside your organization.

[Report Suspicious](#)

The Leavenworth County Department of Planning & Zoning has received a request for a Preliminary and Final Plat for Forge Farms Pre & Final Plat.

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us within the next couple days.

If you have any questions or need additional information, please contact me at (913) 684-0465 or at [pzmail@leavenworthcounty.gov](mailto:pzmail@leavenworthcounty.gov).

Thank you,

Melissa Johnson  
Planner I  
Leavenworth County  
Planning & Zoning Department  
Leavenworth County Courthouse  
300 Walnut St, Suite 212  
Leavenworth County, Kansas 66048

**Leavenworth County  
Request for Board Action  
Case No. DEV-26-052 & 053  
Preliminary & Final Plat HTD Estates  
\*Regular Agenda\***

**Date: June 24, 2026  
To: Board of County Commissioners  
From: Planning & Zoning Staff**

**Department Head Review: John Jacobson, Reviewed**

**Additional Reviews as needed:**

**Budget Review  Administrator Review  Legal Review**

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**Action Request:**

Chairman, I find that the proposed Final Plat as outlined in case DEV-26-053 is compliant with the County Zoning & Subdivision Regulations and move that the proposed Final Plat be conditionally approved and accepted by this Board subject to the conditions set forth in the staff report and as adopted by the Planning Commission.

**Analysis:** The applicant is proposing to divide a 28.6-acre parcel into two (2) lots. The Subdivision is classified as a Class C with all lots lying within the Rural Growth Area of Leavenworth County. Staff is supportive of a waiver of the requirement to connect to a sanitary sewer system as sanitary sewers are not located within 660' of the subdivision (see condition 3). Lot 1 will be approximately 25 acres in size. Lots 2 will be approximately 5 acres in size. Lot 2 does require a exception for exceeding the 1:1 lot-depth to lot-width ratio.

During the Preliminary Plat phase, exceptions were granted for:

1. Exception to Article 50 Section 40.3.i., Lot-depth to Lot-width

The final plat meets the standards set forth in the Leavenworth County Zoning and Subdivision Regulations with the approved exceptions.

**Recommendation:** The Planning Commission voted 7-0 (2 absent) to recommend approval of Case No.DEV-26-053, Final Plat for HTD Estates subject to conditions.

**Alternatives:**

1. Approve Case No. DEV-26-053, Final Plat for HTD Estates, with Findings of Fact, and with or without conditions; or
2. Deny Case No. DEV-26-053, Final Plat for HTD Estates, with Findings of Fact; or

3. Revise or Modify the Planning Commission Recommendation to Case No. DEV-26-053, Final Plat for HTD Estates, with Findings of Fact; or
4. Remand the case back to the Planning Commission.

**Budgetary Impact:**

- Not Applicable
- Budgeted item with available funds
- Non-Budgeted item with available funds through prioritization
- Non-Budgeted item with additional funds requested

**Total Amount Requested:** \$0.00

**Additional Attachments:** Staff Report, Plat

**LEAVENWORTH COUNTY  
PLANNING COMMISSION  
STAFF REPORT**

**CASE NO:** DEV-26-052 & 053 HTD Estates

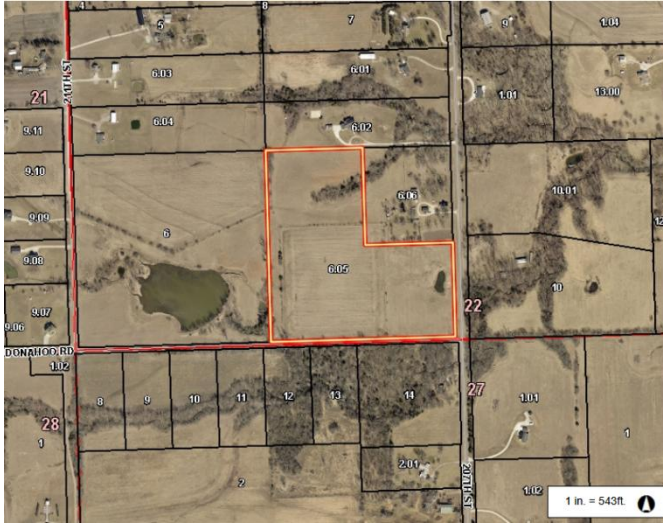
June 10, 2026

**REQUEST:** *Regular Agenda*

- Preliminary Plat       Final Plat  
 Replat

**STAFF REPRESENTATIVE:**  
JOSH SCHWEITZER  
Planner II

**SUBJECT PROPERTY:** 00000 Donahoo Rd.



**APPLICANT/APPLICANT AGENT:**  
Larry Hahn  
Hahn Surveying

**PROPERTY OWNER:**  
Gregg & Deborah Denholm  
Tonganoxie, KS 66086

**CONCURRENT APPLICATIONS:**  
NONE

**LAND USE**

**ZONING:** RR-5

**FUTURE LAND USE DESIGNATION:**  
RR-2.5

**LEGAL DESCRIPTION:**

A Minor Subdivision in the Southwest Quarter of Section 22, Township 10 South, Range 21, East of the 6th P.M., in Leavenworth County Kansas.

**SUBDIVISION:** N/A

**FLOODPLAIN:** N/A

**STAFF RECOMMENDATION:** APPROVAL

**PROPERTY INFORMATION**

**ACTION OPTIONS:**

1. Recommend approval of Case No. DEV-26-052 & 053, Preliminary & Final Plat for HTD Estates, to the Board of County Commission, with or without conditions; or
2. Recommend denial of Case No. DEV-26-052 & 053, Preliminary & Final Plat for HTD Estates to the Board of County Commission for the following reasons; or
3. Continue the hearing to another date, time, and place.

**PARCEL SIZE:** 28.60 Acres

**PARCEL ID NO:**  
145-22-0-00-00-006.05

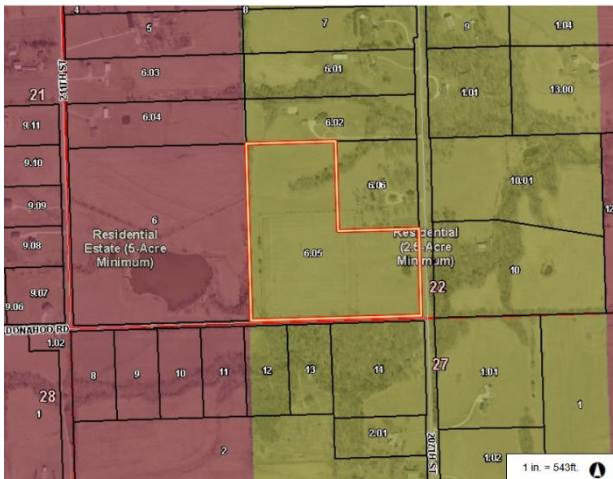
**BUILDINGS:**  
N/A

**PROJECT SUMMARY:**

Request for a preliminary & final plat approval to subdivide property located at 00000 Donahoo Road (PID # 145-22-0-00-00-006.05) as Lots 01 through 02 of H.T.D. Estates.

**ACCESS/STREET:**  
207<sup>th</sup> Street – High Volume Arterial, paved ± 26'; Donahoo Rd – Local, paved ± 25'

**FUTURE LAND USE DESIGNATION MAP:**



**UTILITIES**

**SEWER:** Private Septic

**FIRE:** Stranger

**WATER:** RWD 9

**ELECTRIC:** Freestate

**NOTICE & REVIEW:**

**STAFF REVIEW:**  
6/2/2026

**NEWSPAPER NOTIFICATION:**  
N/A

**NOTICE TO SURROUNDING PROPERTY OWNERS:**  
N/A

<b>STANDARDS TO BE CONSIDERED:</b>			
<b>Leavenworth County Zoning and Subdivision Standards: Preliminary Review</b>		<b>Met</b>	<b>Not Met</b>
35-40	<b>Preliminary Plat Content</b>	X	
40-20	<b>Final Plat Content</b>	X	
41-6	<b>Access Management</b>	X	
41-6.B.a-c.	<b>Entrance Spacing</b>	X	
41-6.C.	<b>Public Road Access Management Standards</b>	X	
43	<b>Cross Access Easements</b>	N/A	
50-20	<b>Utility Requirements</b>	X	
50-30	<b>Other Requirements</b>	X	
50-40	<b>Minimum Design Standards</b>		X
	Exceeds Lot-depth to Lot-width		
50-50	<b>Sensitive Land Development</b>	N/A	
50-60.	<b>Dedication of Reservation of Public Sites and Open Spaces</b>	N/A	

**STAFF COMMENTS:**

The applicant is proposing to divide a 28.6-acre parcel into two (2) lots. The Subdivision is classified as a Class C with all lots lying within the Rural Growth Area of Leavenworth County. Staff is supportive of a waiver of the requirement to connect to a sanitary sewer system as sanitary sewers are not located within 660' of the subdivision (see condition 3). Lot 1 will be approximately 25 acres in size. Lots 2 will be approximately 5 acres in size. Lot 2 does require a exception for exceeding the 1:1 lot-depth to lot-width ratio. If exception were to be approved, all lots meet the requirements for the RR-5 zoning district.

**EXCEPTIONS:**

The applicant has requested an exception from Article 50, Section 40.3.i. – Lot-depth to Lot-width. The criteria for the acceptance of an exception are as follows:

1. That there are special circumstances or conditions affecting the property.
2. That the variance or exception is necessary for the reasonable and acceptable development of the property in question.
3. That the granting of the variance or exception will not be detrimental to the public welfare or injurious to the adjacent property.

*Motion: Chairman, I find that all three criteria for an exception to Article 50, Section 40.3.i. Lot-depth to Lot-Width (have/have not) been met and I move to approve an exception from Article 50, Section 40.3.i. Lot-depth to Lot-Width, as submitted by the application.*

**PROPOSED CONDITIONS:**

1. Building permits shall be required for any new construction.
2. Erosion control shall be used when designing and constructing driveways. A form of sediment control shall be installed before work begins and maintained throughout the time that the land disturbing activities are taking place. Re-vegetation of all disturbed sites shall be completed within 45 days after completion of final grading weather permitting.
3. A waiver for the use of private septic systems within this subdivision is granted with this approval.
4. At time of development, fire hydrants shall be required, if necessary, infrastructure is available. If the infrastructure is not available to support fire hydrants, a letter from the Water District stating such must be provided prior to any building permit being issued.

5. Must provide updated plats in compliance with all outstanding review comments made by County Staff prior to recording.
6. The developer must comply with the following memorandums:  
Memo - Emergency Management, dated May 11, 2026

**PROPOSED MOTIONS:**

Approve case DEV-26-052/053, a request to plat the property located at 00000 Donahoo Road into a 2-lot subdivision in conformance with the Zoning and Subdivision Regulations with a majority vote; or

*Motion: Chairman, I find that the subdivision request complies with the Zoning and Subdivision Regulations and move to recommend approval to the Board of County Commissioners of the request as outlined in Case DEV-26-052/053 based on the recommendation of Planning Staff and the findings as set forth in the Staff Report.*

Deny case DEV-26-052/053, a request to plat the property located at 00000 Donahoo Road into a 2-lot subdivision not in conformance with the Zoning and Subdivision Regulations with a majority vote; or

*Motion: Chairman, I find that the subdivision request does not comply with the Zoning and Subdivision Regulations (list Article and Section #) and move to recommend denial to the Board of County Commissioners as outlined in Case DEV-26-052/053.*

Table the case to a date and time certain for additional information.

*Motion: Chairman, I move to table Case No. DEV-26-052/053 to (Date and Time) requesting additional information for (STATE THE REASON(S)).*

**ATTACHMENTS:**

- A: Application & Narrative
- B: Zoning Map
- C: Road Map (A minimum of 1/4 mile)
- D: Memorandums

**FINAL PLAT APPLICATION**  
 Leavenworth County Planning and Zoning Department,  
 300 Walnut St., County Courthouse  
 Leavenworth, Kansas  
 913-684-0465  
 913-684-0398 Fax

Office Use Only	
CAMA No.: _____	Date Received: _____
Township: _____	
Planning Commission Meeting Date: _____	
Project No.: _____	Date Paid: _____

<p><b>APPLICANT/AGENT INFORMATION</b></p> <p>NAME _____</p> <p>ADDRESS _____</p> <p>CITY/ST/ZIP _____</p> <p>PHONE _____ EMAIL _____</p> <p>CONTACT PERSON _____</p>	<p><b>OWNER INFORMATION</b></p> <p>NAME <u>GREGG &amp; DEBORAH DENHOLM</u></p> <p>ADDRESS <u>21295 HOLLINGSWORTH RD.</u></p> <p>CITY/ST/ZIP <u>TONGANOXIE, KS. 66086</u></p> <p>PHONE <u>816-810-9678</u> EMAIL _____</p> <p>CONTACT PERSON <u>GREGG DENHOLM</u></p>
--	--

**GENERAL INFORMATION**

Subdivision Name: H.T.D. ESTATES

Legal Description (S-T-R 1/4 Section): SW 1/4 OF 22-T10S-R21E

Zoning: RR- 5.00

Surveyor and/or Engineer Firm: HAHN SURVEYING

Contact Person: LARRY HAHN

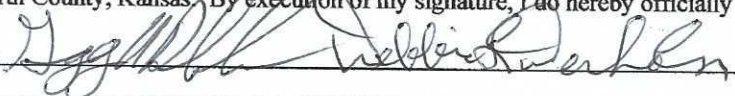
Address: PO BOX 186 BASEHOR, KANSAS 66007

Phone : 913-547-3405 Fax : \_\_\_\_\_ Email : hahnsurvey@gmail.com

SUBDIVISION INFORMATION		
Gross Acreage: <b>30.13 ACRES</b>	Number of Lots: <b>3</b>	Minimum Lot Size: <b>5.00 ACRES</b>
Maximum Lot Size: <b>19.92 ACRES</b>	Zoning: <b>RR - 5.0</b>	Density:
Open Space Acreage:	Water District: <b>RWD #9</b>	Proposed Sewage: <b>ON SITE</b>
Fire District: <b>STRANGER</b>	Electric Provider: <b>FREESTATE</b>	Natural Gas Provider: <b>PROPANE</b>
Covenants: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Phase Number:	

Is any part of the site designated as Floodplain?  Yes  No If yes, what is the panel number: \_\_\_\_\_

I, the undersigned am the owner, duly authorized agent, of the aforementioned property situated in the unincorporated portion of Leavenworth County, Kansas. By execution of my signature, I do hereby officially apply for Final Plat approval as indicated above.

Signature:  Date: 3-25-24

ATTACHMENT A-2

# Lawyers Title of Kansas, Inc.



121 Express Lane, Suite A Lansing, KS 66043  
913-682-3368

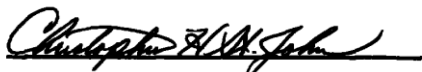
## OWNERS AND ENCUMBRANCE REPORT SCHEDULE A

1. Effective Date: **02/03/2026 07:00 AM RTD EFFECTIVE 3/23/26** **Case No: 37420**
2. Title to the **Fee Simple** estate or interest in the land described or referred to in this Report is as the effective date hereof vested in:  
**Gregg A. Denholm and Deborah L. Denholm**
3. The land referred to in this Report is described as follows:  
**0 Donahoo Rd Tonganoxie, KS 66086**

**See Page 2 Schedule A for Legal Description**

The undersigned is a duly licensed and qualified abstractor for the State of Kansas, a member in good standing of the Kansas Land Title Association and the American Land Title Association whose bond as required by law is in force at the date of this report.

**Lawyers Title of Topeka, Inc.**



**Abstractor**

# Lawyers Title of Kansas, Inc.

## OWNERS AND ENCUMBRANCE REPORT

### SCHEDULE A Legal Description

Case No.: 37420

A tract of land in the Southwest Quarter of Section 22, Township 10 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas, described as follows:

Commencing at the South Quarter corner of said Section 22; thence, South 88 degrees 16 minutes 05 seconds West, 70.00 feet along the South line of said Southwest Quarter to the point of beginning; thence, South 88 degrees 16 minutes 05 seconds West, 1252.09 feet along said South line; thence North 01 degrees 40 minutes 28 seconds West, 1328.11 feet; thence, North 88 degrees 26 minutes 19 seconds East, 1322.99 feet to the East line of said Southwest Quarter; thence, South 01 degrees 38 minutes 09 seconds East, 1284.17 feet along said East line; thence South 88 degrees 16 minutes 05 seconds West, 70.00 feet; thence, South 01 degrees 38 minutes 09 seconds East, 40.00 feet to the point of beginning,  
**EXCEPT THE FOLLOWING:**

Commencing at the South Quarter corner of said Section 22; thence, North 01 degree 38 minutes 09 seconds West, 662.09 feet along the East line of said Southwest Quarter to the point of beginning of this tract; thence South 88 degrees 21 minutes 12 seconds West, 662.09 feet; thence North 01 degree 39 minutes 19 seconds West, 663.08 feet; thence North 88 degrees 26 minutes 19 seconds East, 662.31 feet to the East line of said Southwest Quarter; thence South 01 degree 38 minutes 09 seconds East, 662.09 feet along said East line to the point of beginning,  
**AND EXCEPT any part thereof taken or used for road purposes.**

[The following is/are the last document(s) transferring title of record and are provided for informational purposes only:

Warranty Deed dated March 13, 2019, executed by Gregg A. Denholm and Deborah L. Denholm, husband and wife, to Matthew A. Seba and April L. Seba, husband and wife, filed March 27, 2019, and recorded in Document No. 2019R01952 (DEED OFF).

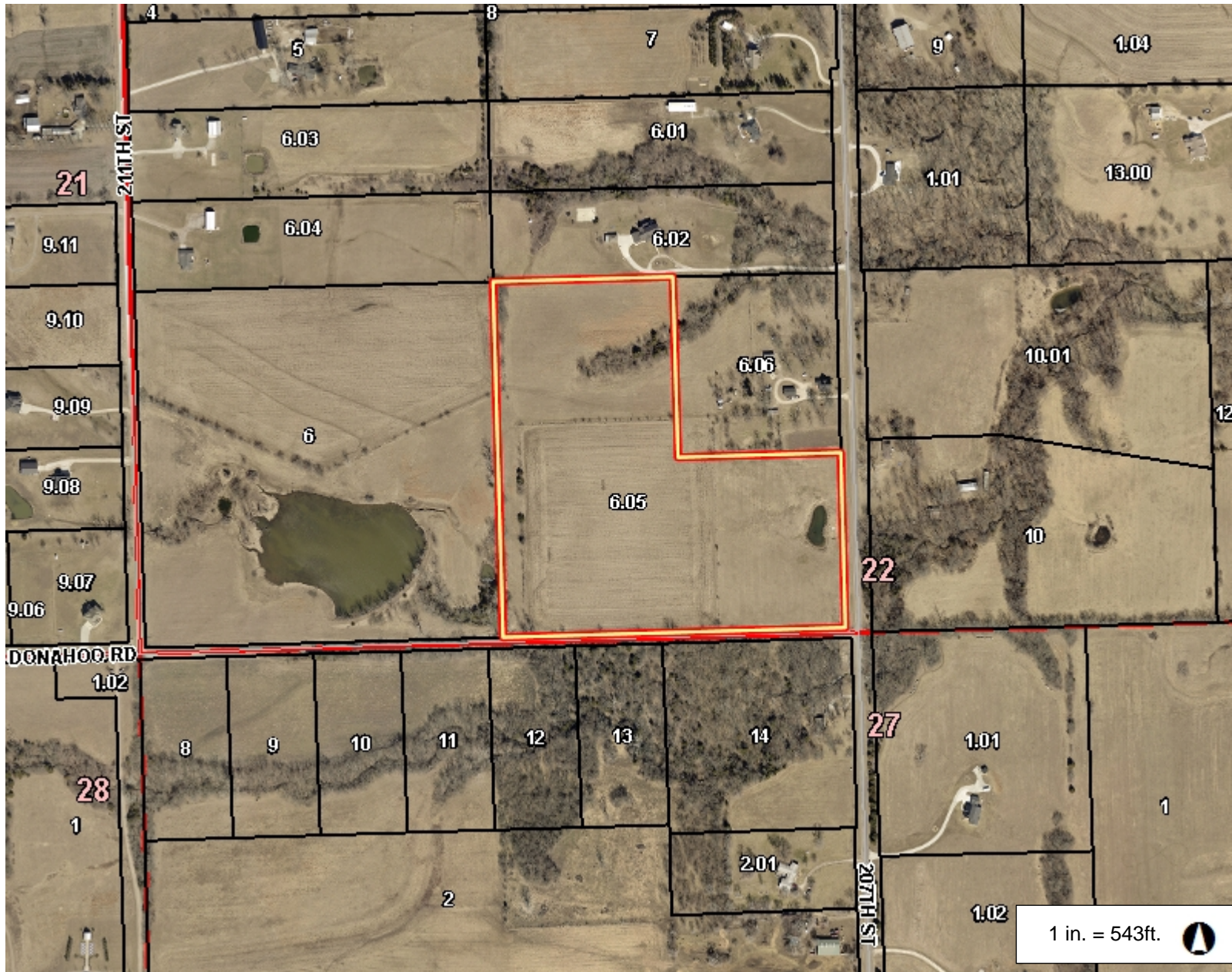
Trustee's Deed dated June 14, 2018, executed by Gregg A. Denholm, Successor Trustee of the Harold Thomas Denholm Revocable Trust dated January 4, 2008, to Gregg A. Denholm and Deborah L. Denholm, husband and wife, as Joint Tenants, filed June 18, 2018, and recorded in Document No. 2018R04850.

Death Certificate for Mary Aileen Denholm, date of death September 22, 2007, recorded January 25, 2008, in Document No. 2008R00787.

Quit Claim Deed dated January 28, 2008, executed by Harold T. Denholm, a Widower, to Harold T. Denholm, as Trustee of the Harold T. Denholm Revocable Trust, dated January 4, 2008, recorded January 30, 2008, in Document No. 2008R00956.


Warranty Deed dated January 20, 1956, executed by Ottielie Wenger, et al., to Harold T. Denholm and Mary A. Denholm, as Joint Tenants, recorded February 17, 1956, in Book 383 Page 156.]

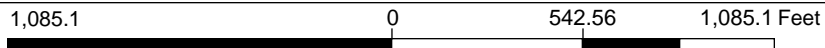
# Leavenworth County, KS



## Legend

- Parcel Number
- Parcel
- City Limit Line
- Major Road
  - <all other values>
  - 70
- Road
  - <all other values>
  - PRIVATE
- Railroad
- Section
- Section Boundaries
- County Boundary

1 in. = 543ft. 

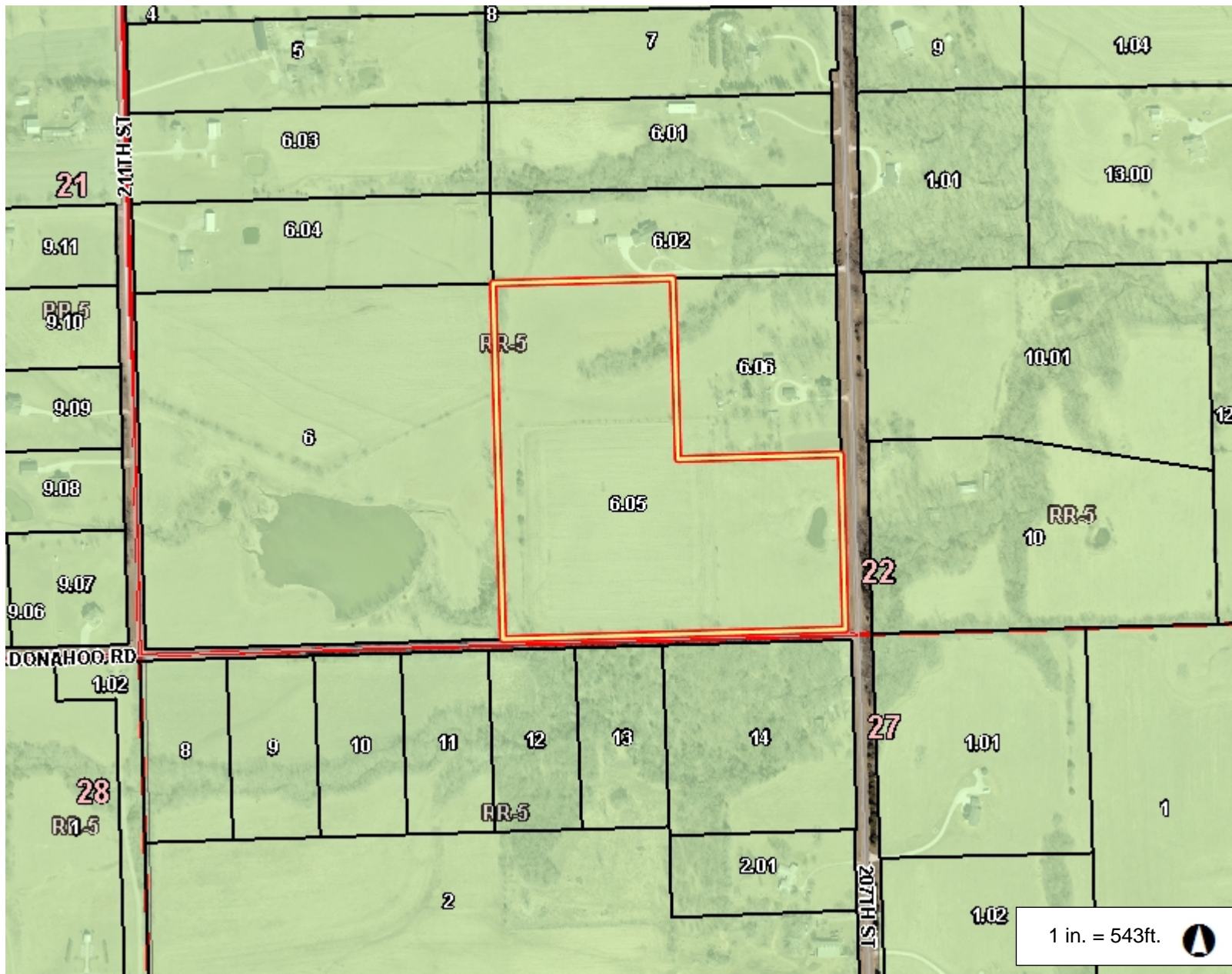


This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

## Notes

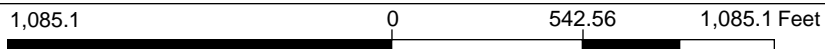
# Leavenworth County, KS



### Legend

- Parcel Number
- Parcel
- City Limit Line
- Major Road
  - <all other values>
  - 70
- Road
  - <all other values>
  - PRIVATE
- Railroad
- Section
- Section Boundaries
- County Boundary
- Zoning
  - B-1
  - B-2
  - B-3
  - I-1
  - I-2
  - I-3
  - MXD
  - PC
  - PI
  - PR-1
  - PR-2
  - PR-3

1 in. = 543ft.



This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

### Notes

## **H.T.D. ESTATES**

Article 50, Section 40.3.i, Lot-depth to Lot-width for lot 2.

1. No special circumstances or conditions affecting the property.
2. The exception is necessary due to no driveway access onto 207<sup>th</sup> Street.
3. The granting of this exception will not be detrimental to the public welfare or injurious to adjacent property.

5/5/26 PW Combined Review. No Comment.

H.T.D. Estates

Leavenworth County Kansas

Drainage Report

March 26, 2026

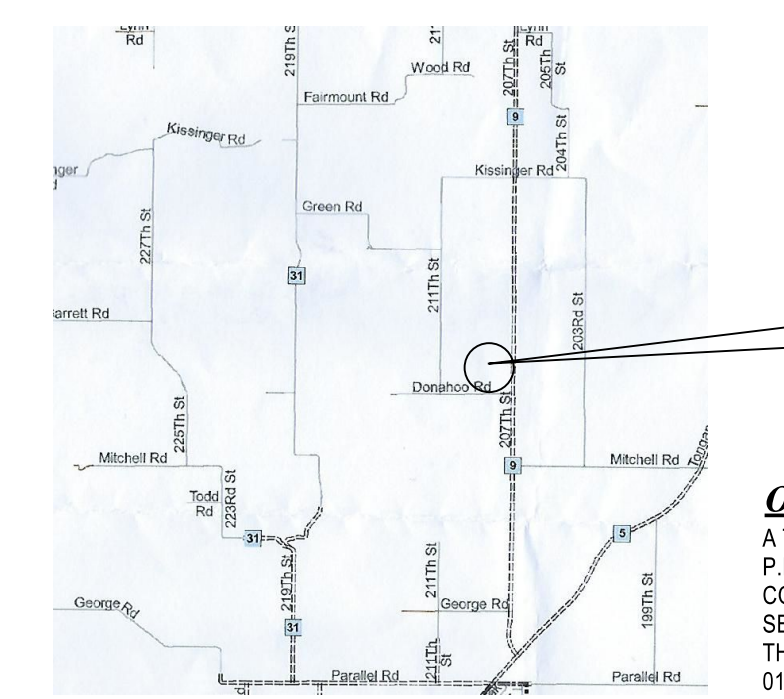


# H.T.D. ESTATES

A SUBDIVISION IN THE SOUTHWEST QUARTER  
SECTION 22-T10S-R21E OF THE 6TH P.M.,  
LEAVENWORTH COUNTY, KANSAS

FINAL PLAT

06-01-26  
PW Combined  
Comments



LOCATION MAP  
NO SCALE

**OWNERS AND ENCUMBRANCE REPORT DESCRIPTION**  
A TRACT OF LAND IN THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 10 SOUTH, RANGE 21 EAST OF THE 6TH P.M., LEAVENWORTH COUNTY, KANSAS, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 22; THENCE, SOUTH 88 DEGREES 16 MINUTES 05 SECONDS WEST, 70.00 FEET ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER TO THE POINT OF BEGINNING; THENCE, SOUTH 88 DEGREES 16 MINUTES 05 SECONDS WEST, 1252.09 FEET ALONG SAID SOUTH LINE; THENCE NORTH 01 DEGREES 40 MINUTES 28 SECONDS WEST, 1328.11 FEET; THENCE, NORTH 88 DEGREES 26 MINUTES 19 SECONDS EAST, 1322.99 FEET TO THE EAST LINE OF SAID SOUTHWEST QUARTER; THENCE, SOUTH 01 DEGREES 38 MINUTES 09 SECONDS WEST, 70.00 FEET; THENCE, SOUTH 01 DEGREES 38 MINUTES 09 SECONDS WEST, 662.09 FEET TO THE POINT OF BEGINNING, EXCEPT THE FOLLOWING:  
COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 22; THENCE, N 01 DEGREES 38 MINUTES 09 SECONDS WEST, 662.09 FEET ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER TO THE POINT OF BEGINNING OF THIS TRACT; THENCE, SOUTH 88 DEGREES 21 MINUTES 12 SECONDS WEST, 662.09 FEET; THENCE, NORTH 01 DEGREES 39 MINUTES 19 SECONDS WEST, 663.08 FEET; THENCE, NORTH 88 DEGREES 26 MINUTES 19 SECONDS EAST, 662.31 FEET TO THE EAST LINE OF SAID SOUTHWEST QUARTER; THENCE, SOUTH 01 DEGREES 38 MINUTES 09 SECONDS EAST, 662.09 FEET ALONG SAID EAST LINE TO THE POINT OF BEGINNING, AND EXCEPT ANY PART THEREOF TAKEN OR USED FOR ROAD PURPOSES.

**SURVEYORS DESCRIPTION**  
A TRACT OF LAND IN THE SOUTHWEST QUARTER OF SECTION 22-T10S-R21E OF THE 6TH P.M., LEAVENWORTH COUNTY, KANSAS, AS SURVEYED BY LARRY T. HAHN, PS #1349, MARCH, 2026, DESCRIBED AS FOLLOWS; BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 22; THENCE, S 88°16'05"W, 1322.09 FEET ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER; THENCE, N 01°40'28"W, 1328.11 FEET; THENCE, N 88°26'19"E, 660.68 FEET; THENCE, S 01°39'19"E, 663.08 FEET; THENCE, N 88°21'12"E, 662.09 FEET TO THE EAST LINE OF SAID SOUTHWEST QUARTER; THENCE, S 01°38'09"E, 662.09 FEET ALONG SAID EAST LINE TO THE POINT OF BEGINNING; CONTAINS 30.19 ACRES, MORE OR LESS, INCLUDING ROAD R/W.  
RELATIVE: 1.332,074

**CERTIFICATION AND DEDICATION**  
THE UNDERSIGNED PROPRIETORS STATE THAT ALL TAXES ON THE ABOVE DESCRIBED TRACT OF LAND HAVE BEEN PAID AND THAT THEY HAVE CAUSED THE SAME TO BE SUBDIVIDED IN THE MANNER SHOWN ON THE ACCOMPANYING PLAT WHICH SHALL BE KNOWN AS "H.T.D. ESTATES".

EASEMENTS SHOWN ON THIS PLAT ARE HEREBY DEDICATED FOR PUBLIC USE. THE RIGHTS OF WAY WHICH ARE SHOWN WITH DASHED LINES ON THE ACCOMPANYING PLAT AND SAID EASEMENTS MAY BE EMPLOYED TO LOCATE AND MAINTAIN SEWERS, WATER LINES, GAS LINES, POLES AND WIRES AND ANY OTHER FORM OF PUBLIC UTILITY NOW AND HEREAFTER USED BY THE PUBLIC, UNDER AND ALONG THE STRIPS MARKED "UTILITY EASEMENT" OR "U/E".

BUILDING LINES OR SETBACK LINES (S/B) ARE HEREBY ESTABLISHED AS SHOWN ON THE ACCOMPANYING PLAT AND NO BUILDING OR PORTION THEREOF SHALL BE BUILT OR CONSTRUCTED BETWEEN THIS LINE AND THE STREET LINE.

IN TESTIMONY WHEREOF:  
WE, THE UNDERSIGNED OWNERS OF "H.T.D. ESTATES", HAVE SET OUR HAND THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.

\_\_\_\_\_  
GREGG A. DENHOLM  
\_\_\_\_\_  
DEBORAH L. DENHOLM

**STATE OF KANSAS / COUNTY OF LEAVENWORTH**  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026, BEFORE ME APPEARED GREGG A. DENHOLM AND DEBORAH L. DENHOLM, KNOWN TO ME TO BE THE SAME PERSONS DESCRIBED HEREIN AND WHO EXECUTED THE SAME AS THEIR FREE ACT AND DEED. IN WITNESS THEREOF, I HAVE SET MY HAND AND AFFIXED MY NOTARIAL SEAL THE DAY AND ABOVE WRITTEN.

\_\_\_\_\_  
NOTARY PUBLIC  
MY COMMISSION EXPIRES \_\_\_\_\_

**APPROVAL**  
WE, THE LEAVENWORTH COUNTY PLANNING COMMISSION, DO HEREBY APPROVE THE FOREGOING PLAT OF "H.T.D. ESTATES" THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.

\_\_\_\_\_  
CHAIRPERSON / JEFF SPINK  
\_\_\_\_\_  
SECRETARY / JOHN JACOBSON

THE LEAVENWORTH COUNTY ENGINEERS PLAT REVIEW IS ONLY FOR GENERAL CONFORMANCE WITH THE SUBDIVISION REGULATIONS AS ADOPTED BY LEAVENWORTH COUNTY. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, ELEVATIONS AND QUANTITIES.

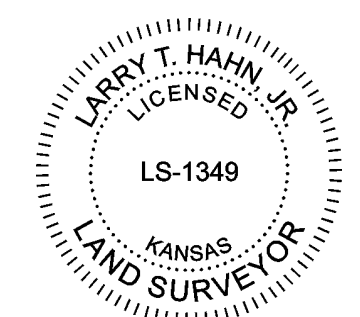
\_\_\_\_\_  
COUNTY ENGINEER / MITCH PLEAK, PE

WE, THE BOARD OF COUNTY COMMISSIONERS OF LEAVENWORTH COUNTY, KANSAS, DO HEREBY APPROVE THE FOREGOING PLAT OF "H.T.D. ESTATES" THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.

\_\_\_\_\_  
CHAIRPERSON / MIKE STIEBEN  
\_\_\_\_\_  
COUNTY CLERK / FRAN KEPPLER (ATTEST)

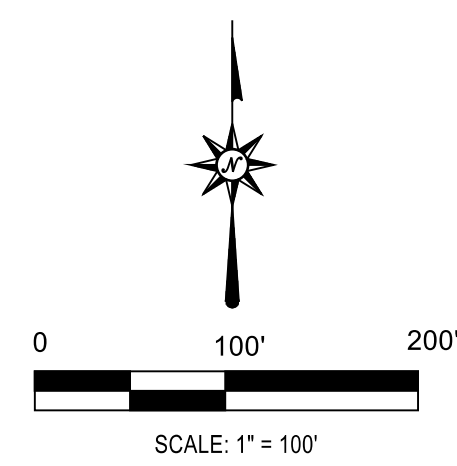
**COUNTY SURVEYOR CERTIFICATION**  
I HEREBY CERTIFY THIS PLAT MEETS THE REQUIREMENTS OF K.S.A. 58-2005. THE FACE OF THIS SURVEY PLAT WAS REVIEWED FOR COMPLIANCE WITH KANSAS MINIMUM STANDARDS FOR BOUNDARY SURVEYS. NO FIELD VERIFICATION IS IMPLIED. THIS REVIEW IS FOR SURVEY INFORMATION ONLY.

\_\_\_\_\_  
COUNTY SURVEYOR / DANIEL BAUMCHEN, PS 1363



LARRY T. HAHN, PS #1349

THIS IS TO CERTIFY THAT IN THE MONTH OF MARCH, 2026, THIS SURVEY WAS MADE UNDER MY DIRECT SUPERVISION AND THAT SAID SURVEY MEETS OR EXCEEDS THE KANSAS MINIMUM STANDARDS FOR BOUNDARY SURVEYS.



- LEGEND**
- 1/2" x 24" REBAR SET WITH #1349 CAP
  - SURVEY MONUMENT FOUND (AS NOTED) ORIGIN UNKNOWN, UNLESS REFERENCED
  - POB POINT OF BEGINNING
  - S/B BUILDING SETBACK
  - U/E UTILITY EASEMENT
  - //// NO ACCESS
  - (NS) NO MONUMENT SET CORNER FALLS IN BEAVER POND

**OWNER / DEVELOPER**  
GREGG A. DENHOLM  
DEBORAH L. DENHOLM  
21295 HOLLINGSWORTH ROAD  
TONGANOXIE, KS. 66086  
816-810-9678

- REFERENCES**
- DIG WHITE SURVEY - 1996 (NOT RECORDED) PN. 145-22-6.04
  - DOC. #2018S010
  - NILA ESTATES PLAT / DOC. #2024P00026
  - DOC. #2018S031
  - BOUNDARY DESCRIPTION FROM O&E REPORT. NO DEED RECORDED

**BENCHMARK**  
1/2" REBAR AT THE SW CORNER 22-T10S-R21E  
EL. 919.33 (NAVD 88)

**ZONING**  
RR - 5.0

- RESTRICTIONS**
- NO OFF PLAT RESTRICTIONS.
  - 40' REAR SETBACK FOR RESIDENCES  
15' REAR SETBACK FOR ACCESSORY BUILDINGS  
15' SIDE SETBACK
  - AN ENGINEERED WASTEWATER DISPOSAL MAY BE REQUIRED DUE TO POOR SOIL CONDITIONS.
  - EROSION CONTROL SHALL BE USED WHEN DESIGNING AND CONSTRUCTING DRIVEWAYS.
  - A FORM OF SEDIMENT CONTROL SHALL BE INSTALLED BEFORE WORK BEGINS AND MAINTAINED THROUGHOUT THE TIME THAT THE LAND DISTURBING ACTIVITIES ARE TAKING PLACE.
  - RE-VEGETATION OF ALL DISTURBED SITES SHALL BE COMPLETED WITHIN 45 DAYS AFTER COMPLETION OF FINAL GRADING, WEATHER PERMITTING.
  - LOTS ARE SUBJECT TO THE CURRENT ACCESS MANAGEMENT POLICY RESOLUTION.
  - STRUCTURES BUILT WITHIN THE SUBDIVISION SHALL COMPLY WITH RESOLUTION 2020-39, OR AS AMENDED.
  - LOT 1 SHALL HAVE NO ACCESS TO 207TH STREET.

- SW CORNER 22-T10S-R21E (13R)  
1/2" REBAR (REF. #2, #3)  
1. NE 33.73 TO 60D NAIL IN TOP OF CORNER POST  
2. NE 38.90 TO PK NAIL IN TOP OF BRACE POST  
3. SW 33.04 TO 60D NAIL IN POWER POLE

- NOTES**
- LEAVENWORTH COUNTY, KANSAS, DOES NOT REPRESENT, WARRANT OR GUARANTEE THAT THE DETAILS SHOWN ON THIS DOCUMENT AND PROVIDED BY THE APPLICANT OR ANY AGENT OF APPLICANT, INCLUDING ANY SURVEY INFORMATION SHOULD BE RELIED UPON BY ANY THIRD PARTY AS BEING WHOLLY OR PARTIALLY ACCURATE AND COMPLETE.
  - EXISTING USE OF AREA BEING PLATTED - AGRICULTURAL  
PROPOSED USE - RR-5.0 / RESIDENTIAL
  - THIS PLAT IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA  
FEMA FIRM 20103C0225G, DATED 7/16/2015
  - TITLE COMMITMENT PROVIDED BY LAWYERS TITLE OF KANSAS, INC.  
CASE NO. 37420, EFFECTIVE DATE: 02/03/2026

**STATE OF KANSAS / COUNTY OF LEAVENWORTH**  
FILED FOR RECORD AS DOCUMENT # \_\_\_\_\_ ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026  
AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ IN THE OFFICE OF THE REGISTER OF DEEDS OF LEAVENWORTH COUNTY, KANSAS.

REGISTER OF DEEDS / TERRILOIS G. TODD

# H.T.D. ESTATES

A SUBDIVISION IN THE SOUTHWEST QUARTER  
SECTION 22-T10S-R21E OF THE 6TH P.M.,  
LEAVENWORTH COUNTY, KANSAS  
PRELIMINARY PLAT

"UNPLATTED TRACT"  
PN. 145-22-6.04  
OWNER:  
YUNG M. & DANIELLE N. SHAFER  
21410 211TH STREET  
TONGANOXIE, KS. 66086

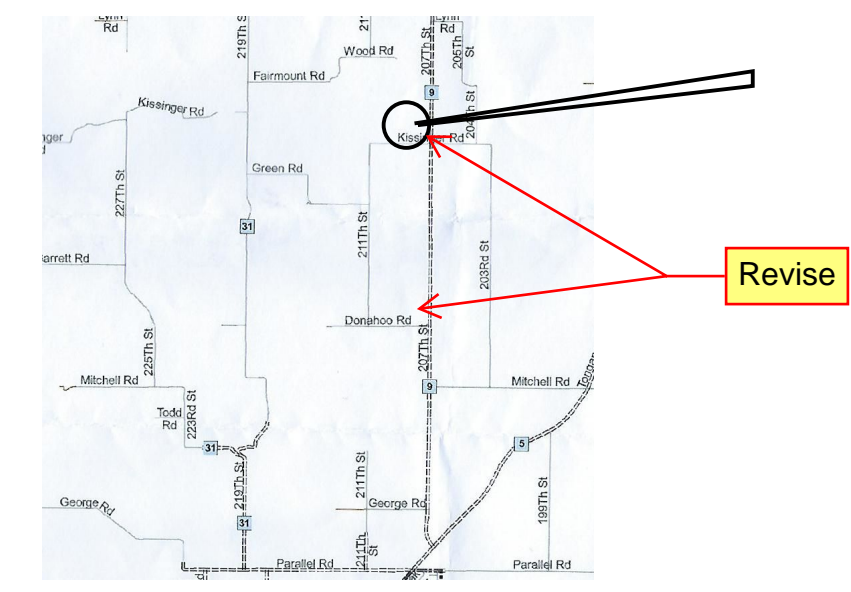
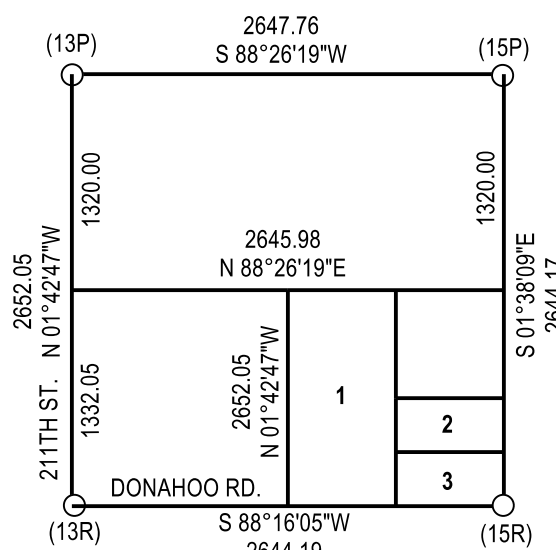
CENTER 22-T10S-R21E (15P)  
ALUMINUM CAP  
1. SW 56.39 TO 60D NAIL IN POWER POLE  
2. W 35.90 TO 60D NAIL IN TOP OF CORNER POST  
3. WNW 34.08 TO 60D NAIL IN FENCE POST

W 1/4 CORNER 22-T10S-R21E (13P)  
1/2" x 24" REBAR WITH #1349 CAP (REF. #2)  
1. WNW 14.50 TO "U" POST MARKED T-40  
2. SSW 147.50 TO MKG NAIL IN POWER POLE  
3. SSW 90.33 TO 60D NAIL IN TOP OF STUMP  
4. S 8.32 TO 1/2" REBAR (REF. #3)

"UNPLATTED TRACT"  
PN. 145-22-6.02  
OWNER:  
WILLIAM T. & SUSAN M. GEIGER  
21449 207TH STREET  
TONGANOXIE, KS. 66086

"UNPLATTED TRACT"  
PN. 145-22-6.06  
OWNER:  
MATTHEW A. & APRIL L. SEBA  
21325 207TH STREET  
TONGANOXIE, KS. 66086

"UNPLATTED TRACT"  
PN. 145-22-6  
OWNER:  
GREGG A. & DEBORAH L. DENHOLM  
21295 HOLLINGSWORTH ROAD  
TONGANOXIE, KS. 66086



06-01-26  
PW Combined  
Comments

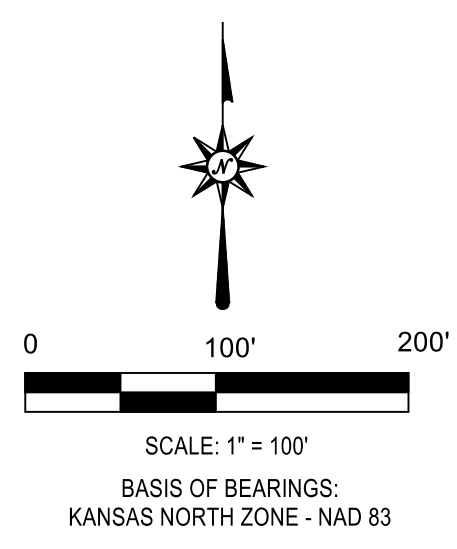
LOCATION MAP  
NO SCALE

**OWNERS AND ENCUMBRANCE REPORT DESCRIPTION**

A TRACT OF LAND IN THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 10 SOUTH, RANGE 21 EAST OF THE 6TH P.M., LEAVENWORTH COUNTY, KANSAS, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 22; THENCE, SOUTH 88 DEGREES 16 MINUTES 05 SECONDS WEST, 70.00 FEET ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER TO THE POINT OF BEGINNING; THENCE, SOUTH 88 DEGREES 16 MINUTES 05 SECONDS WEST, 1252.09 FEET ALONG SAID SOUTH LINE; THENCE NORTH 01 DEGREES 40 MINUTES 28 SECONDS WEST, 1328.11 FEET; THENCE, NORTH 88 DEGREES 26 MINUTES 19 SECONDS EAST, 1322.99 FEET TO THE EAST LINE OF SAID SOUTHWEST QUARTER; THENCE, SOUTH 01 DEGREES 38 MINUTES 09 SECONDS EAST, 1284.17 FEET ALONG SAID EAST LINE; THENCE, S 88 DEGREES 16 MINUTES 05 SECONDS WEST, 70.00 FEET; THENCE, SOUTH 01 DEGREES 38 MINUTES 09 SECONDS EAST, 40.00 FEET TO THE POINT OF BEGINNING, EXCEPT THE FOLLOWING:  
COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 22; THENCE, N 01 DEGREES 38 MINUTES 09 SECONDS WEST, 662.09 FEET ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER TO THE POINT OF BEGINNING OF THIS TRACT; THENCE, SOUTH 88 DEGREES 21 MINUTES 12 SECONDS WEST, 662.09 FEET; THENCE, NORTH 01 DEGREES 39 MINUTES 19 SECONDS WEST, 663.08 FEET; THENCE, NORTH 88 DEGREES 26 MINUTES 19 SECONDS EAST, 662.31 FEET TO THE EAST LINE OF SAID SOUTHWEST QUARTER; THENCE, SOUTH 01 DEGREES 38 MINUTES 09 SECONDS EAST, 662.09 FEET ALONG SAID EAST LINE TO THE POINT OF BEGINNING, AND EXCEPT ANY PART THEREOF TAKEN OR USED FOR ROAD PURPOSES.

**SURVEYORS DESCRIPTION**

A TRACT OF LAND IN THE SOUTHWEST QUARTER OF SECTION 22-T10S-R21E OF THE 6TH P.M., LEAVENWORTH COUNTY, KANSAS, AS SURVEYED BY LARRY T. HAHN, PS #1349, MARCH 1, 2026, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 22; THENCE, S 88°16'05\"/>



- LEGEND**
- 1/2" x 24" REBAR SET WITH #1349 CAP
  - SURVEY MONUMENT FOUND (AS NOTED) ORIGIN UNKNOWN, UNLESS REFERENCED
  - POB POINT OF BEGINNING
  - S/B BUILDING SETBACK
  - U/E UTILITY EASEMENT
  - POWER POLE
  - //// NO ACCESS
  - (NS) NO MONUMENT SET CORNER FALLS IN BEAVER POND

**NOTES**

1. FENCE LINES DO NOT DENOTE PROPERTY LINES.
2. LEAVENWORTH COUNTY, KANSAS, DOES NOT REPRESENT, WARRANT OR GUARANTEE THAT THE DETAILS SHOWN ON THIS DOCUMENT AND PROVIDED BY THE APPLICANT OR ANY AGENT OF APPLICANT, INCLUDING ANY SURVEY INFORMATION SHOULD BE RELIED UPON BY ANY THIRD PARTY AS BEING WHOLLY OR PARTIALLY ACCURATE AND COMPLETE.
3. EXISTING USE OF AREA BEING PLATTED - AGRICULTURAL PROPOSED USE - RR-5.0 / RESIDENTIAL
4. THIS PLAT IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA FEMA FIRM 20103C0225G, DATED 7/16/2015
5. TITLE COMMITMENT PROVIDED BY LAWYERS TITLE OF KANSAS, INC. CASE NO. 37420, EFFECTIVE DATE: 02/03/2026

**RESTRICTIONS**

1. NO OFF PLAT RESTRICTIONS.
2. 40' REAR SETBACK FOR RESIDENCES
- 15' REAR SETBACK FOR ACCESSORY BUILDINGS
- 15' SIDE SETBACK
3. AN ENGINEERED WASTEWATER DISPOSAL MAY BE REQUIRED DUE TO POOR SOIL CONDITIONS.
4. EROSION CONTROL SHALL BE USED WHEN DESIGNING AND CONSTRUCTING DRIVEWAYS.
5. A FORM OF SEDIMENT CONTROL SHALL BE INSTALLED BEFORE WORK BEGINS AND MAINTAINED THROUGHOUT THE TIME THAT THE LAND DISTURBING ACTIVITIES ARE TAKING PLACE.
6. RE-VEGETATION OF ALL DISTURBED SITES SHALL BE COMPLETED WITHIN 45 DAYS AFTER COMPLETION OF FINAL GRADING/WEATHER PERMITTING.
7. LOTS ARE SUBJECT TO THE CURRENT ACCESS MANAGEMENT POLICY RESOLUTION.
8. STRUCTURES BUILT WITHIN THE SUBDIVISION SHALL COMPLY WITH RESOLUTION 2020-39, OR AS AMENDED.
9. LOT 1 SHALL HAVE NO ACCESS TO 207TH STREET.

**UTILITIES**

ELECTRIC / FREESTATE  
WATER / R.W.D. #9  
SEWAGE / PRIVATE ON SITE SYSTEM  
FIRE DISTRICT / STRANGER

**REFERENCES**

1. DG WHITE SURVEY - 1996 (NOT RECORDED) PN. 145-22-6.04
2. DOC. #2019S010
3. NILA ESTATES PLAT / DOC. #2024P00026
4. DOC. #2018S031

**BENCHMARK**

1/2" REBAR AT THE SW CORNER 22-T10S-R21E  
EL. 919.33 (NAVD 88)

**DRAINAGE CALCULATIONS**

ON SEPARATE DOCUMENT BY DAVID LUTGEN, PE

**ROAD INFORMATION**

207TH STREET - 24' +/- WIDE PAVED SURFACE (CLASS-SECONDARY)  
DONAHOOD ROAD - 18' +/- WIDE PAVED SURFACE (CLASS-LOCAL)

**PUBLIC IMPROVEMENT**

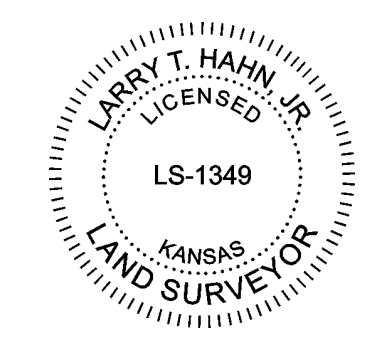
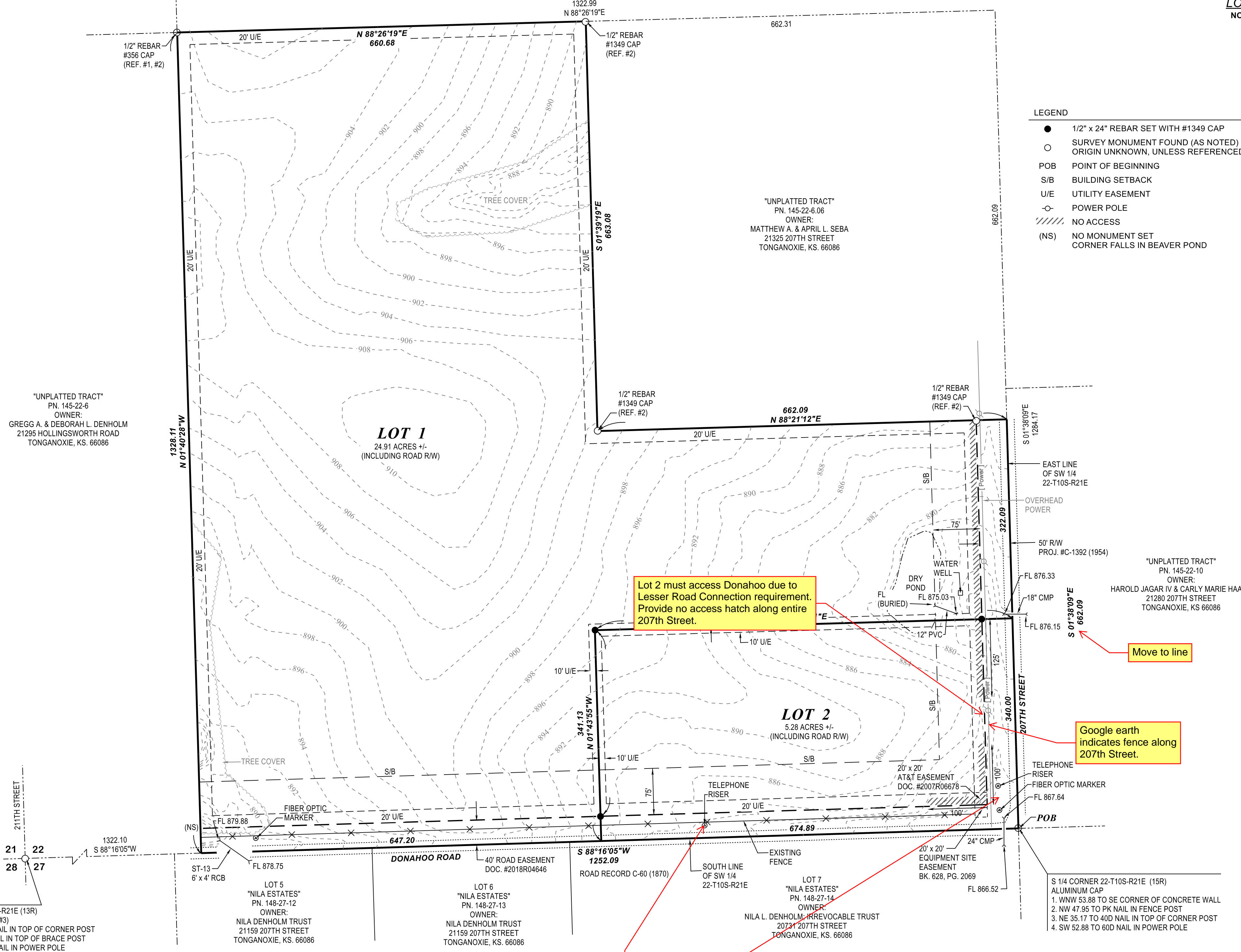
NONE

**ZONING**

RR-5.0

**OWNER / DEVELOPER**

GREGG A. DENHOLM  
DEBORAH L. DENHOLM  
21295 HOLLINGSWORTH ROAD  
TONGANOXIE, KS. 66086  
816-810-9678



THIS IS TO CERTIFY THAT IN THE MONTH OF MARCH, 2026, THIS SURVEY WAS MADE UNDER MY DIRECT SUPERVISION AND THAT SAID SURVEY MEETS OR EXCEEDS THE KANSAS MINIMUM STANDARDS FOR BOUNDARY SURVEYS.

LARRY T. HAHN, PS #1349

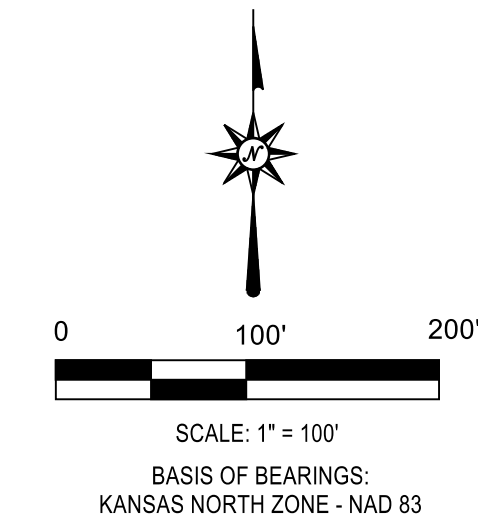
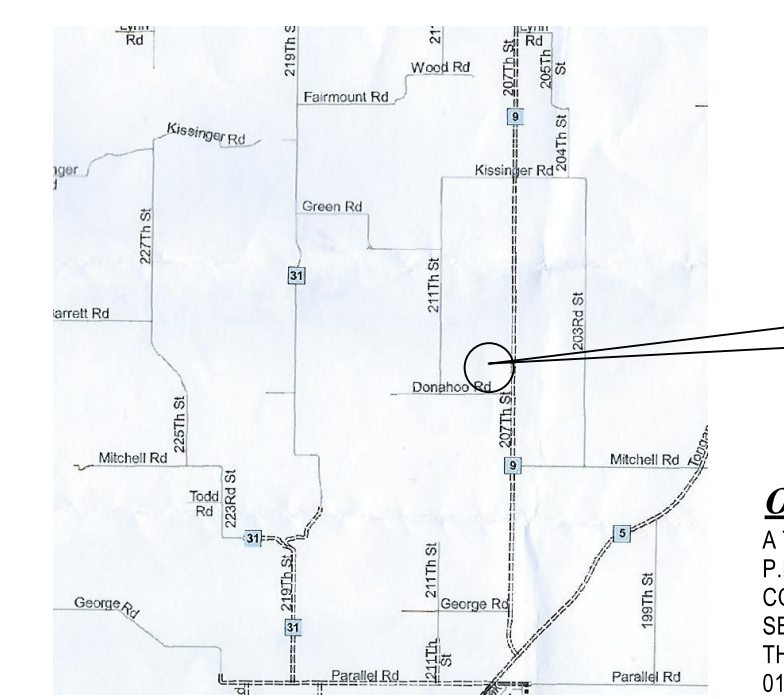
HAHN SURVEYING  
PO BOX 186  
BASEHOR, KANSAS 66007  
(913) 547-3405  
hahnsurvey@gmail.com



# H.T.D. ESTATES

A SUBDIVISION IN THE SOUTHWEST QUARTER  
SECTION 22-T10S-R21E OF THE 6TH P.M.,  
LEAVENWORTH COUNTY, KANSAS

FINAL PLAT



- LEGEND**
- 1/2" x 24" REBAR SET WITH #1349 CAP
  - SURVEY MONUMENT FOUND (AS NOTED) ORIGIN UNKNOWN, UNLESS REFERENCED
  - POB POINT OF BEGINNING
  - S/B BUILDING SETBACK
  - U/E UTILITY EASEMENT
  - //// NO ACCESS
  - (NS) NO MONUMENT SET CORNER FALLS IN BEAVER POND

### OWNER / DEVELOPER

GREGG A. DENHOLM  
DEBORAH L. DENHOLM  
21295 HOLLINGSWORTH ROAD  
TONGANOXIE, KS. 66086  
816-810-9678

### REFERENCES

- D.G. WHITE SURVEY - 1996 (NOT RECORDED) PN. 145-22-6.04
- DOC. #2018S010
- NILA ESTATES PLAT / DOC. #2024P00026
- DOC. #2018S031
- BOUNDARY DESCRIPTION FROM O&E REPORT. NO DEED RECORDED

### BENCHMARK

1/2" REBAR AT THE SW CORNER 22-T10S-R21E  
EL. 919.33 (NAVD 88)

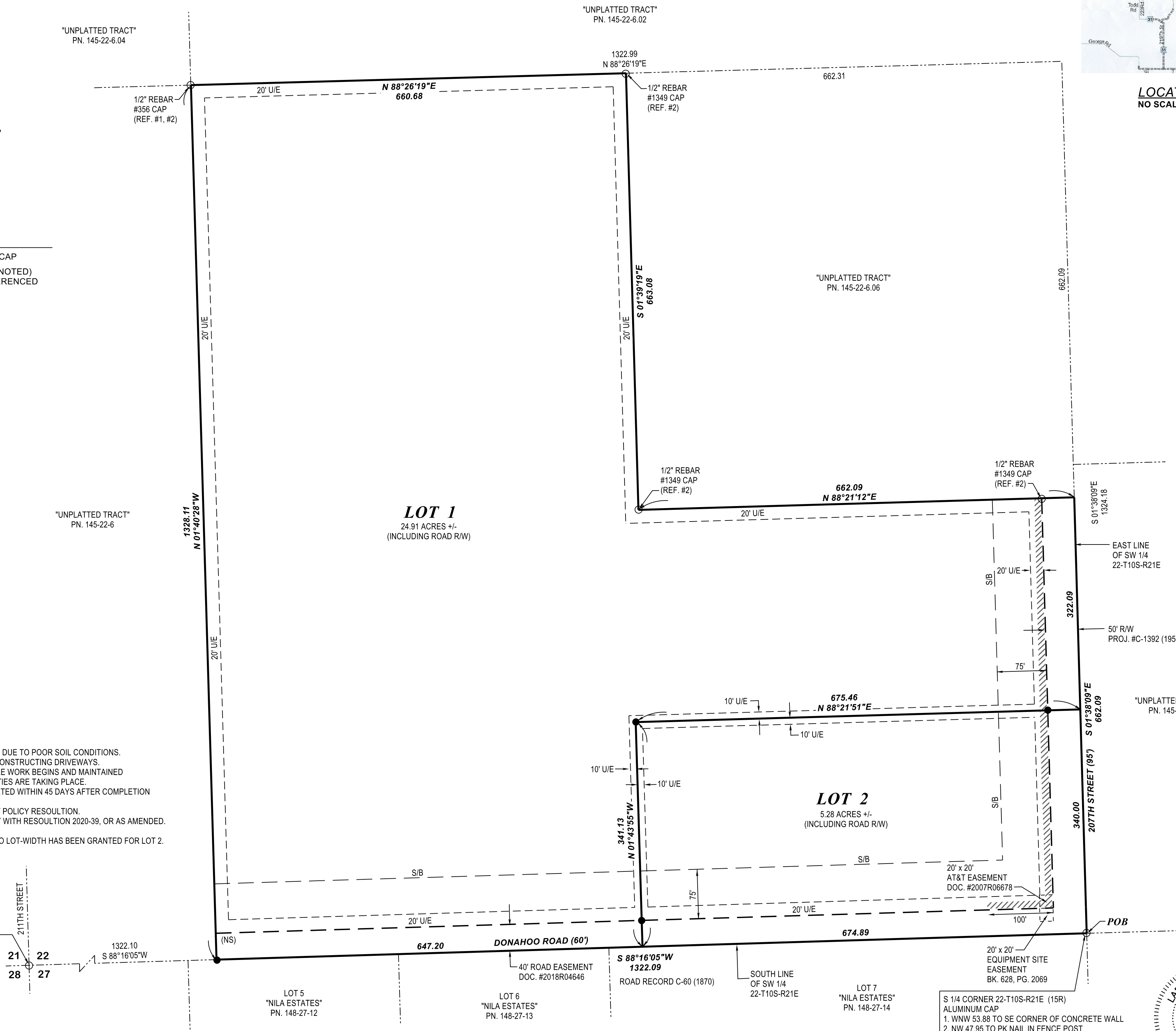
### ZONING

RR - 5.0

### RESTRICTIONS

- NO OFF PLAT RESTRICTIONS.
- 40' REAR SETBACK FOR RESIDENCES  
15' REAR SETBACK FOR ACCESSORY BUILDINGS  
15' SIDE SETBACK
- AN ENGINEERED WASTEWATER DISPOSAL MAY BE REQUIRED DUE TO POOR SOIL CONDITIONS.
- EROSION CONTROL SHALL BE USED WHEN DESIGNING AND CONSTRUCTING DRIVEWAYS.
- A FORM OF SEDIMENT CONTROL SHALL BE INSTALLED BEFORE WORK BEGINS AND MAINTAINED THROUGHOUT THE TIME THAT THE LAND DISTURBING ACTIVITIES ARE TAKING PLACE.
- RE-VEGETATION OF ALL DISTURBED SITES SHALL BE COMPLETED WITHIN 45 DAYS AFTER COMPLETION OF FINAL GRADING, WEATHER PERMITTING.
- LOTS ARE SUBJECT TO THE CURRENT ACCESS MANAGEMENT POLICY RESOLUTION.
- STRUCTURES BUILT WITHIN THE SUBDIVISION SHALL COMPLY WITH RESOLUTION 2020-39, OR AS AMENDED.
- LOTS 1 AND 2 SHALL HAVE NO ACCESS TO 207TH STREET.
- AN EXCEPTION TO ARTICLE 50, SECTION 40.31, LOT-DEPTH TO LOT-WIDTH HAS BEEN GRANTED FOR LOT 2.

- SW CORNER 22-T10S-R21E (13R)  
1/2" REBAR (REF. #2, #3)  
1. NE 33.73 TO 60D NAIL IN TOP OF CORNER POST  
2. NE 38.90 TO PK NAIL IN TOP OF BRACE POST  
3. SW 33.04 TO 60D NAIL IN POWER POLE



### OWNERS AND ENCUMBRANCE REPORT DESCRIPTION

A TRACT OF LAND IN THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 10 SOUTH, RANGE 21 EAST OF THE 6TH P.M., LEAVENWORTH COUNTY, KANSAS, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 22; THENCE, SOUTH 88 DEGREES 16 MINUTES 05 SECONDS WEST, 70.00 FEET ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER TO THE POINT OF BEGINNING; THENCE, SOUTH 88 DEGREES 16 MINUTES 05 SECONDS WEST, 1252.09 FEET ALONG SAID SOUTH LINE; THENCE NORTH 01 DEGREES 40 MINUTES 28 SECONDS WEST, 1328.11 FEET; THENCE, NORTH 88 DEGREES 26 MINUTES 19 SECONDS EAST, 1322.99 FEET TO THE EAST LINE OF SAID SOUTHWEST QUARTER; THENCE, SOUTH 01 DEGREES 38 MINUTES 09 SECONDS EAST, 1284.17 FEET ALONG SAID EAST LINE; THENCE, S 88 DEGREES 16 MINUTES 05 SECONDS WEST, 70.00 FEET; THENCE, SOUTH 01 DEGREES 38 MINUTES 09 SECONDS EAST, 40.00 FEET TO THE POINT OF BEGINNING, EXCEPT THE FOLLOWING:  
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### SURVEYORS DESCRIPTION

A TRACT OF LAND IN THE SOUTHWEST QUARTER OF SECTION 22-T10S-R21E OF THE 6TH P.M., LEAVENWORTH COUNTY, KANSAS, AS SURVEYED BY LARRY T. HAHN, PS #1349, MARCH, 2026, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 22; THENCE, S 88°16'05\"/>

### CERTIFICATION AND DEDICATION

THE UNDERSIGNED PROPRIETORS STATE THAT ALL TAXES ON THE ABOVE DESCRIBED TRACT OF LAND HAVE BEEN PAID AND THAT THEY HAVE CAUSED THE SAME TO BE SUBDIVIDED IN THE MANNER SHOWN ON THE ACCOMPANYING PLAT WHICH SHALL BE KNOWN AS "H.T.D. ESTATES".

EASEMENTS SHOWN ON THIS PLAT ARE HEREBY DEDICATED FOR PUBLIC USE. THE RIGHTS OF WAY WHICH ARE SHOWN WITH DASHED LINES ON THE ACCOMPANYING PLAT AND SAID EASEMENTS MAY BE EMPLOYED TO LOCATE AND MAINTAIN SEWERS, WATER LINES, GAS LINES, POLES AND WIRES AND ANY OTHER FORM OF PUBLIC UTILITY NOW AND HEREAFTER USED BY THE PUBLIC, UNDER AND ALONG THE STRIPS MARKED "UTILITY EASEMENT" OR "U/E".

BUILDING LINES OR SETBACK LINES (S/B) ARE HEREBY ESTABLISHED AS SHOWN ON THE ACCOMPANYING PLAT AND NO BUILDING OR PORTION THEREOF SHALL BE BUILT OR CONSTRUCTED BETWEEN THIS LINE AND THE STREET LINE.

IN TESTIMONY WHEREOF:  
WE, THE UNDERSIGNED OWNERS OF "H.T.D. ESTATES", HAVE SET OUR HAND THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.

GREGG A. DENHOLM  
DEBORAH L. DENHOLM

### STATE OF KANSAS / COUNTY OF LEAVENWORTH

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026, BEFORE ME APPEARED GREGG A. DENHOLM AND DEBORAH L. DENHOLM, KNOWN TO ME TO BE THE SAME PERSONS DESCRIBED HEREIN AND WHO EXECUTED THE SAME AS THEIR FREE ACT AND DEED. IN WITNESS WHEREOF, I HAVE SET MY HAND AND AFFIXED MY NOTARIAL SEAL THE DAY AND ABOVE WRITTEN.

NOTARY PUBLIC  
MY COMMISSION EXPIRES \_\_\_\_\_

### APPROVAL

WE, THE LEAVENWORTH COUNTY PLANNING COMMISSION, DO HEREBY APPROVE THE FOREGOING PLAT OF "H.T.D. ESTATES" THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.

CHAIRPERSON / JEFF SPINK  
SECRETARY / JOHN JACOBSON

THE LEAVENWORTH COUNTY ENGINEERS PLAT REVIEW IS ONLY FOR GENERAL CONFORMANCE WITH THE SUBDIVISION REGULATIONS AS ADOPTED BY LEAVENWORTH COUNTY. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, ELEVATIONS AND QUANTITIES.

COUNTY ENGINEER / MITCH PLEAK, PE

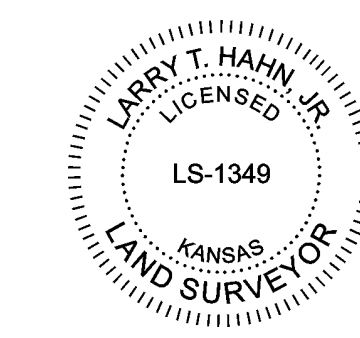
WE, THE BOARD OF COUNTY COMMISSIONERS OF LEAVENWORTH COUNTY, KANSAS, DO HEREBY APPROVE THE FOREGOING PLAT OF "H.T.D. ESTATES" THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.

CHAIRPERSON / MIKE STIEBEN  
COUNTY CLERK / FRAN KEPPLER (ATTEST)

### COUNTY SURVEYOR CERTIFICATION

I HEREBY CERTIFY THIS PLAT MEETS THE REQUIREMENTS OF K.S.A. 58-2005. THE FACE OF THIS SURVEY PLAT WAS REVIEWED FOR COMPLIANCE WITH KANSAS MINIMUM STANDARDS FOR BOUNDARY SURVEYS. NO FIELD VERIFICATION IS IMPLIED. THIS REVIEW IS FOR SURVEY INFORMATION ONLY.

COUNTY SURVEYOR / DANIEL BAUMCHEN, PS 1363



LARRY T. HAHN, PS #1349

THIS IS TO CERTIFY THAT IN THE MONTH OF MARCH, 2026, THIS SURVEY WAS MADE UNDER MY DIRECT SUPERVISION AND THAT SAID SURVEY MEETS OR EXCEEDS THE KANSAS MINIMUM STANDARDS FOR BOUNDARY SURVEYS.

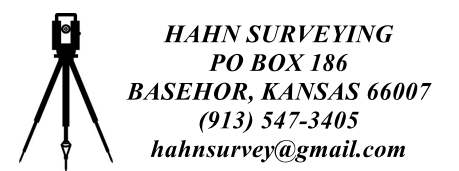
### STATE OF KANSAS / COUNTY OF LEAVENWORTH

FILED FOR RECORD AS DOCUMENT # \_\_\_\_\_ ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026  
AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ IN THE OFFICE OF THE REGISTER OF DEEDS OF LEAVENWORTH COUNTY, KANSAS.

REGISTER OF DEEDS / TERRILOIS G. TODD

### NOTES

- LEAVENWORTH COUNTY, KANSAS, DOES NOT REPRESENT, WARRANT OR GUARANTEE THAT THE DETAILS SHOWN ON THIS DOCUMENT AND PROVIDED BY THE APPLICANT OR ANY AGENT OF APPLICANT, INCLUDING ANY SURVEY INFORMATION SHOULD BE RELIED UPON BY ANY THIRD PARTY AS BEING WHOLLY OR PARTIALLY ACCURATE AND COMPLETE.
- EXISTING USE OF AREA BEING PLATTED - AGRICULTURAL  
PROPOSED USE - RR-5.0 / RESIDENTIAL
- THIS PLAT IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA  
FEMA FIRM 20103C0225G, DATED 7/16/2015
- TITLE COMMITMENT PROVIDED BY LAWYERS TITLE OF KANSAS, INC.  
CASE NO. 37420, EFFECTIVE DATE: 02/03/2026



# H.T.D. ESTATES

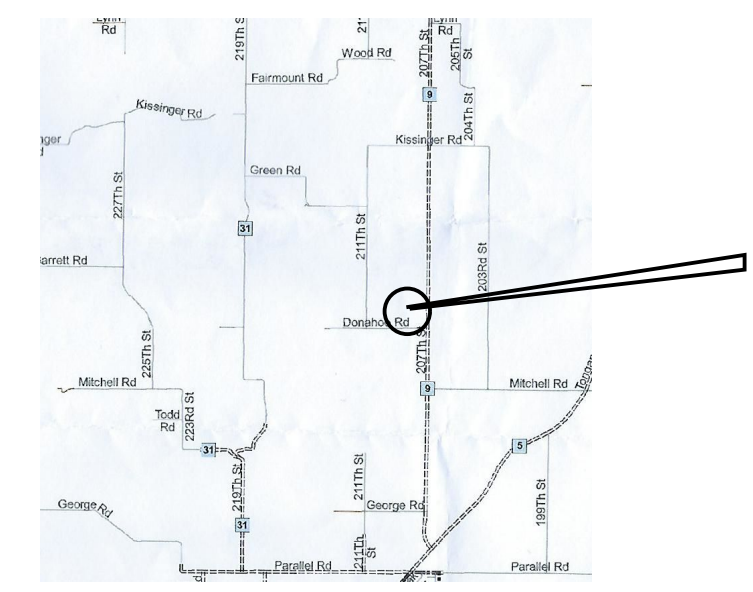
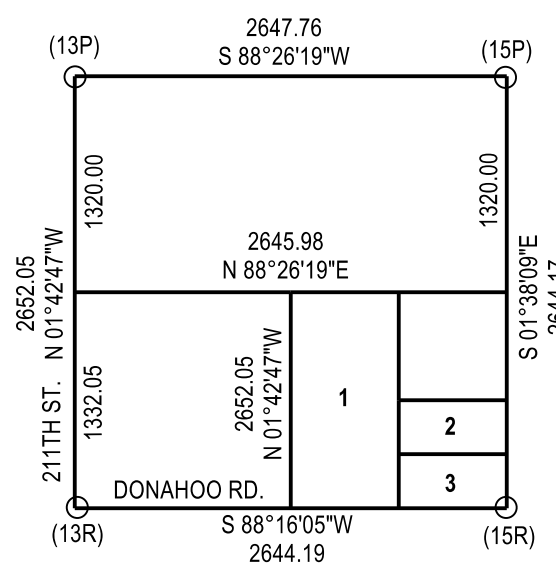
A SUBDIVISION IN THE SOUTHWEST QUARTER  
SECTION 22-T10S-R21E OF THE 6TH P.M.,  
LEAVENWORTH COUNTY, KANSAS  
PRELIMINARY PLAT

"UNPLATTED TRACT"  
PN. 145-22-6.04  
OWNER:  
YUNG M. & DANIELLE N. SHAFER  
21410 211TH STREET  
TONGANOXIE, KS. 66086

"UNPLATTED TRACT"  
PN. 145-22-6.02  
OWNER:  
WILLIAM T. & SUSAN M. GEIGER  
21449 207TH STREET  
TONGANOXIE, KS. 66086

CENTER 22-T10S-R21E (15P)  
ALUMINUM CAP  
1. SW 56.39 TO 60D NAIL IN POWER POLE  
2. W 35.90 TO 60D NAIL IN TOP OF CORNER POST  
3. WNW 34.08 TO 60D NAIL IN FENCE POST

W 1/4 CORNER 22-T10S-R21E (13P)  
1/2" x 24" REBAR WITH #1349 CAP (REF. #2)  
1. WNW 14.50 TO "U" POST MARKED T-40  
2. SSE 147.50 TO MAG NAIL IN POWER POLE  
3. SSW 90.33 TO 60D NAIL IN TOP OF STUMP  
4. S 8.32 TO 1/2" REBAR (REF. #3)



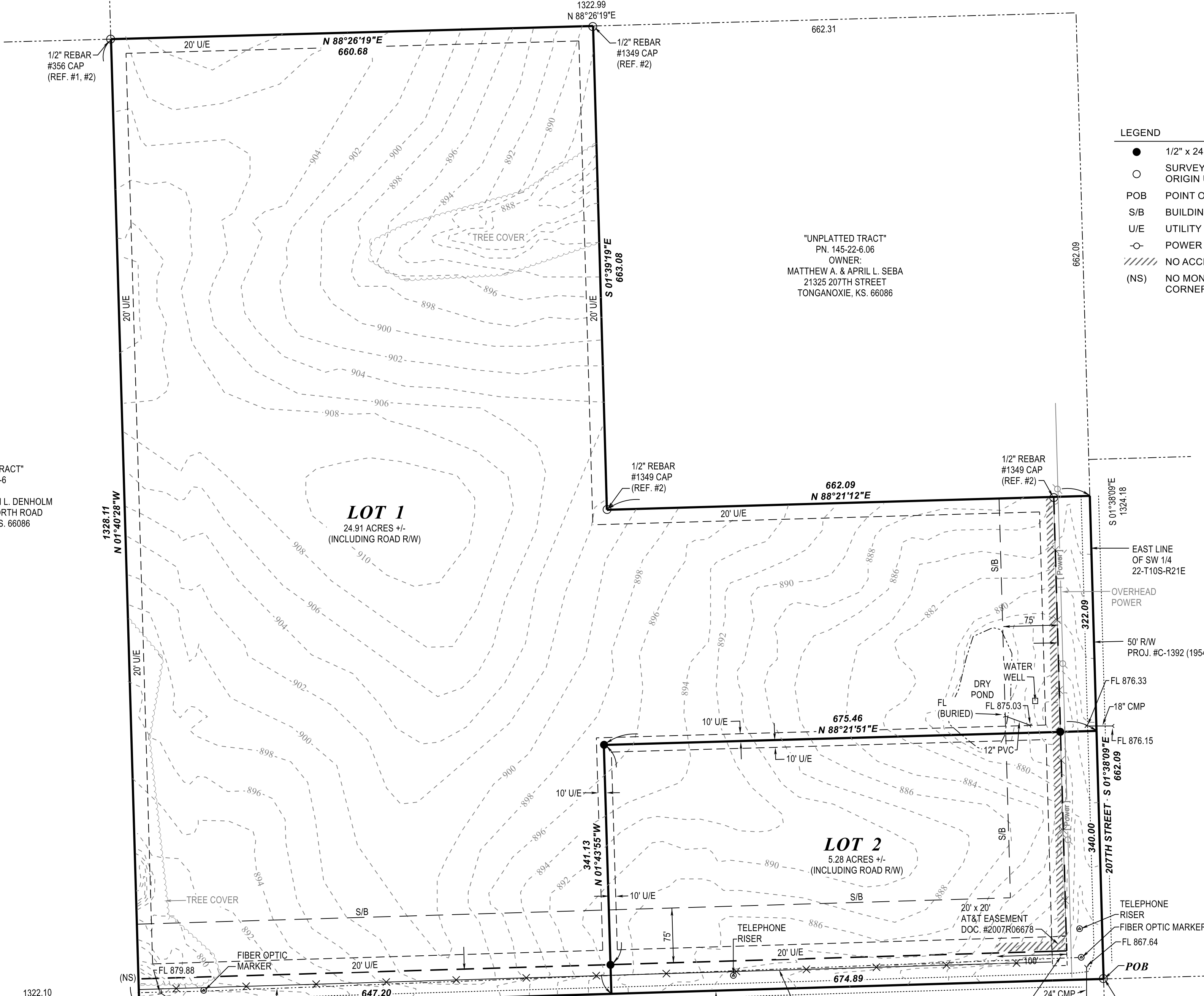
SECTION MAP - SW 1/4  
NO SCALE

LOCATION MAP  
NO SCALE

"UNPLATTED TRACT"  
PN. 145-22-6  
OWNER:  
GREGG A. & DEBORAH L. DENHOLM  
21295 HOLLINGSWORTH ROAD  
TONGANOXIE, KS. 66086

"UNPLATTED TRACT"  
PN. 145-22-6.06  
OWNER:  
MATTHEW A. & APRIL L. SEBA  
21325 207TH STREET  
TONGANOXIE, KS. 66086

"UNPLATTED TRACT"  
PN. 145-22-10  
OWNER:  
HAROLD JAGAR IV & CARLY MARIE HAAK  
21280 207TH STREET  
TONGANOXIE, KS. 66086



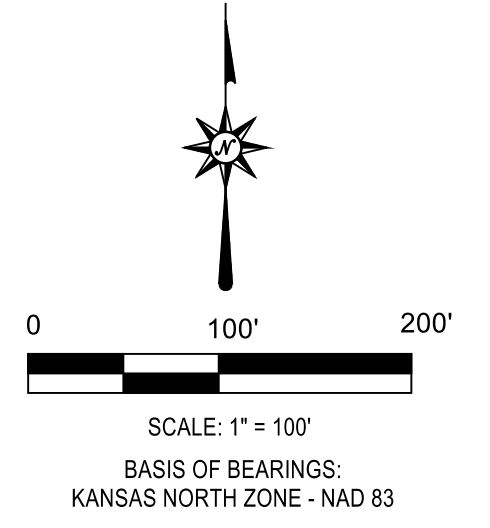
- LEGEND**
- 1/2" x 24" REBAR SET WITH #1349 CAP
  - SURVEY MONUMENT FOUND (AS NOTED) ORIGIN UNKNOWN, UNLESS REFERENCED
  - POB POINT OF BEGINNING
  - S/B BUILDING SETBACK
  - U/E UTILITY EASEMENT
  - POWER POLE
  - //// NO ACCESS
  - (NS) NO MONUMENT SET CORNER FALLS IN BEAVER POND

**OWNERS AND ENCUMBRANCE REPORT DESCRIPTION**

A TRACT OF LAND IN THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 10 SOUTH, RANGE 21 EAST OF THE 6TH P.M., LEAVENWORTH COUNTY, KANSAS, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 22; THENCE, SOUTH 88 DEGREES 16 MINUTES 05 SECONDS WEST, 70.00 FEET ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER TO THE POINT OF BEGINNING; THENCE, SOUTH 88 DEGREES 16 MINUTES 05 SECONDS WEST, 1252.09 FEET ALONG SAID SOUTH LINE; THENCE NORTH 01 DEGREES 40 MINUTES 28 SECONDS WEST, 1328.11 FEET; THENCE, NORTH 88 DEGREES 26 MINUTES 19 SECONDS EAST, 1322.99 FEET ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER; THENCE, SOUTH 01 DEGREES 38 MINUTES 09 SECONDS EAST, 1284.17 FEET ALONG SAID EAST LINE; THENCE, S 88 DEGREES 16 MINUTES 05 SECONDS WEST, 70.00 FEET; THENCE, SOUTH 01 DEGREES 38 MINUTES 09 SECONDS EAST, 40.00 FEET TO THE POINT OF BEGINNING, EXCEPT THE FOLLOWING:  
COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 22; THENCE, N 01 DEGREES 38 MINUTES 09 SECONDS WEST, 662.09 FEET ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER TO THE POINT OF BEGINNING OF THIS TRACT; THENCE, SOUTH 88 DEGREES 21 MINUTES 12 SECONDS WEST, 662.09 FEET; THENCE, NORTH 01 DEGREES 39 MINUTES 19 SECONDS WEST, 663.08 FEET; THENCE, NORTH 88 DEGREES 26 MINUTES 19 SECONDS EAST, 662.31 FEET TO THE EAST LINE OF SAID SOUTHWEST QUARTER; THENCE, SOUTH 01 DEGREES 38 MINUTES 09 SECONDS EAST, 662.09 FEET ALONG SAID EAST LINE TO THE POINT OF BEGINNING.  
AND EXCEPT ANY PART THEREOF TAKEN OR USED FOR ROAD PURPOSES.

**SURVEYORS DESCRIPTION**

A TRACT OF LAND IN THE SOUTHWEST QUARTER OF SECTION 22-T10S-R21E OF THE 6TH P.M., LEAVENWORTH COUNTY, KANSAS, AS SURVEYED BY LARRY T. HAHN, PS #1349, MARCH, 2026, DESCRIBED AS FOLLOWS, BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 22; THENCE, S 88°16'05"W, 1322.09 FEET ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER; THENCE, N 01°40'28"W, 1328.11 FEET; THENCE, N 88°26'19"E, 660.68 FEET; THENCE, S 01°39'09"E, 663.08 FEET; THENCE, N 88°21'12"E, 662.09 FEET TO THE EAST LINE OF SAID SOUTHWEST QUARTER; THENCE, S 01°38'09"E, 622.09 FEET ALONG SAID EAST LINE TO THE POINT OF BEGINNING; CONTAINS 30.19 ACRES, MORE OR LESS, INCLUDING ROAD R/W.  
RELATIVE: 1:332,074



**NOTES**

1. FENCE LINES DO NOT DENOTE PROPERTY LINES.
2. LEAVENWORTH COUNTY, KANSAS, DOES NOT REPRESENT, WARRANT OR GUARANTEE THAT THE DETAILS SHOWN ON THIS DOCUMENT AND PROVIDED BY THE APPLICANT OR ANY AGENT OF APPLICANT, INCLUDING ANY SURVEY INFORMATION SHOULD BE RELIED UPON BY ANY THIRD PARTY AS BEING WHOLLY OR PARTIALLY ACCURATE AND COMPLETE.
3. EXISTING USE OF AREA BEING PLATTED - AGRICULTURAL
4. PROPOSED USE - RR-5.0 / RESIDENTIAL
5. THIS PLAT IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA FEMA FIRM 20103C0225G, DATED 7/16/2015
6. TITLE COMMITMENT PROVIDED BY LAWYERS TITLE OF KANSAS, INC. CASE NO. 37420, EFFECTIVE DATE: 02/03/2026

**RESTRICTIONS**

1. NO OFF PLAT RESTRICTIONS.
2. 40' REAR SETBACK FOR RESIDENCES
3. 15' REAR SETBACK FOR ACCESSORY BUILDINGS
4. 15' SIDE SETBACK
5. AN ENGINEERED WASTEWATER DISPOSAL MAY BE REQUIRED DUE TO POOR SOIL CONDITIONS.
6. EROSION CONTROL SHALL BE USED WHEN DESIGNING AND CONSTRUCTING DRIVEWAYS.
7. A FORM OF SEDIMENT CONTROL SHALL BE INSTALLED BEFORE WORK BEGINS AND MAINTAINED THROUGHOUT THE TIME THAT THE LAND DISTURBING ACTIVITIES ARE TAKING PLACE.
8. RE-VEGETATION OF ALL DISTURBED SITES SHALL BE COMPLETED WITHIN 45 DAYS AFTER COMPLETION OF FINAL GRADING, WEATHER PERMITTING.
9. LOTS ARE SUBJECT TO THE CURRENT ACCESS MANAGEMENT POLICY RESOLUTION.
10. STRUCTURES BUILT WITHIN THE SUBDIVISION SHALL COMPLY WITH RESOLUTION 2020-39, OR AS AMENDED.
11. LOTS 1 AND 2 SHALL HAVE NO ACCESS TO 207TH STREET.
12. AN EXCEPTION TO ARTICLE 50, SECTION 40.3.I. LOT-DEPTH TO LOT WIDTH HAS BEEN GRANTED FOR LOT2.

**UTILITIES**

ELECTRIC / FREESTATE  
WATER / R.W.D. #9  
SEWAGE / PRIVATE ON SITE SYSTEM  
FIRE DISTRICT / STRANGER

**REFERENCES**

1. DG WHITE SURVEY - 1996 (NOT RECORDED) PN. 145-22-6.04
2. DOC. #2019S010
3. NILA ESTATES PLAT / DOC. #2024P00026
4. DOC. #2018S031

**BENCHMARK**

1/2" REBAR AT THE SW CORNER 22-T10S-R21E  
EL. 919.33 (NAVD 88)

**DRAINAGE CALCULATIONS**

ON SEPARATE DOCUMENT BY DAVID LUTGEN, PE

**ROAD INFORMATION**

207TH STREET - 24' +/- WIDE PAVED SURFACE (CLASS-SECONDARY)  
DONAHOOD ROAD - 18' +/- WIDE PAVED SURFACE (CLASS-LOCAL)

**PUBLIC IMPROVEMENT**

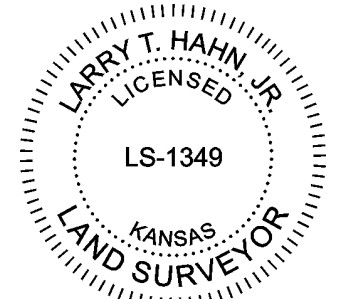
NONE

**ZONING**

RR - 5.0

**OWNER / DEVELOPER**

GREGG A. DENHOLM  
DEBORAH L. DENHOLM  
21295 HOLLINGSWORTH ROAD  
TONGANOXIE, KS. 66086  
816-810-9678



LARRY T. HAHN, PS #1349  
THIS IS TO CERTIFY THAT IN THE MONTH OF MARCH, 2026, THIS SURVEY WAS MADE UNDER MY DIRECT SUPERVISION AND THAT SAID SURVEY MEETS OR EXCEEDS THE KANSAS MINIMUM STANDARDS FOR BOUNDARY SURVEYS.

HAHN SURVEYING  
PO BOX 186  
BASEHOR, KANSAS 66007  
(913) 547-3405  
hahnsurvey@gmail.com

# MEMO

**To:** Amy Allison  
**From:** Chuck Magaha  
**Subject:** H.T.D. Estates Subdivision  
**Date:** May 11, 2026

Amy, I have reviewed the preliminary plat of the H.T.D. Estates Subdivision presented by Gregg and Deborah Denholm. The subdivision meets the requirements for a fire hydrant and supported with a 6" water line as stated in the subdivision guidelines. The area in which the subdivision is proposed, would be on the corner of Hollingsworth Road and 211<sup>th</sup> Street at lot 3. The pond on Lot 2 could be used in the replacement of the Hydrant with a dry hydrant built within the pond.

I have no further recommendation for this subdivision.

If you have any questions please call me 684-0455.

## Schweitzer, Joshua

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**From:** Rural Water District 9 lvrwd9 <lvrwd9@gmail.com>  
**Sent:** Friday, April 3, 2026 10:35 AM  
**To:** Johnson, Melissa  
**Cc:** Mark B; Line Department; PZ  
**Subject:** Re: Pre/Final Plat submitted to Planning and Zoning

At this time LVRWD9 has no issues with the Pre-plat and zoning of the H.T.D. Estates Lot 1, 2 and 3.

On Fri, Apr 3, 2026 at 9:58 AM Johnson, Melissa <[MJohnson@leavenworthcounty.gov](mailto:MJohnson@leavenworthcounty.gov)> wrote:

The Leavenworth County Department of Planning and Zoning has received a request for a Preliminary and Final Plat for H.T.D.

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by [10 business days from the date of submittal].

If you have any questions or need additional information, please contact me at (913) 684-0465 or at [pzmail@leavenworthcounty.gov](mailto:pzmail@leavenworthcounty.gov).

Thank you,

Melissa Johnson

Planner I

Leavenworth County

Planning & Zoning Department

Leavenworth County Courthouse

300 Walnut St, Suite 212

Leavenworth County, Kansas 66048

(913) 684-0465

**FRAUD ALERT:**

*Our office has been notified of multiple fraudulent emails requesting payment of fees to a non-agency account. All application fees are paid at the time of application and any additional required fees will be requested on official letterhead. Furthermore, the County does not have an online payment option. If you receive an email or letter requesting payment of fees that appears to come from the Leavenworth County Planning & Zoning Department or Planning Commission, please contact our office at **913.684.0465** before opening any files, clicking on any links or making any payments online or by phone. We appreciate your cooperation in this matter.*

## Schweitzer, Joshua

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**From:** Line Department <linedepartment@freestate.coop>  
**Sent:** Tuesday, April 7, 2026 1:32 PM  
**To:** Johnson, Melissa  
**Subject:** FW: Pre/Final Plat submitted to Planning and Zoning

Melissa,  
FreeState Electric is fine with this property split / re-plat.  
Thank you,  
Gary Willits

**Gary Willits**  
**Staking Technician**



785-478-3444 | [www.freestate.coop](http://www.freestate.coop)

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**From:** Line Department <linedepartment@freestate.coop>  
**Sent:** Tuesday, April 7, 2026 10:12 AM  
**To:** Gary Willits <gary.willits@freestate.coop>  
**Subject:** FW: Pre/Final Plat submitted to Planning and Zoning

---

**From:** Johnson, Melissa <MJohnson@leavenworthcounty.gov>  
**Sent:** Friday, April 3, 2026 9:58 AM  
**To:** Mark B <stfdchief1760@gmail.com>; 'lvrwd9@gmail.com' <lvrwd9@gmail.com>; Line Department <linedepartment@freestate.coop>  
**Cc:** PZ <pz@leavenworthcounty.gov>  
**Subject:** Pre/Final Plat submitted to Planning and Zoning

The Leavenworth County Department of Planning and Zoning has received a request for a Preliminary and Final Plat for H.T.D.

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by [10 business days from the date of submittal].

If you have any questions or need additional information, please contact me at (913) 684-0465 or at [pzmail@leavenworthcounty.gov](mailto:pzmail@leavenworthcounty.gov).

Thank you,

Melissa Johnson  
Planner I  
Leavenworth County

## Schweitzer, Joshua

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**From:** larry hahn <hahnsurvey@gmail.com>  
**Sent:** Tuesday, April 14, 2026 7:27 AM  
**To:** Johnson, Melissa  
**Subject:** Fwd: H.T.D. Estates

Larry Hahn, PS  
Hahn Surveying  
PO Box 186  
Basehor, Ks. 66007  
(913) 547-3405

----- Forwarded message -----

**From:** Mark B <[stfdchief1760@gmail.com](mailto:stfdchief1760@gmail.com)>  
**Date:** Mon, Apr 13, 2026 at 2:34 PM  
**Subject:** Re: H.T.D. Estates  
**To:** larry hahn <[hahnsurvey@gmail.com](mailto:hahnsurvey@gmail.com)>  
**Cc:** Rural Water District 9 lvrwd9 <[lvrwd9@gmail.com](mailto:lvrwd9@gmail.com)>, <[amanda.holloway@freestate.coop](mailto:amanda.holloway@freestate.coop)>

Stranger Township has no issues with this plat, but would suggest that hydrants be installed so that there is one within 500 feet of any structure.

Let me know if you have any questions.

Mark Billquist  
Stranger Township Fire Department  
913-369-051

On Mon, Apr 13, 2026 at 2:18 PM larry hahn <[hahnsurvey@gmail.com](mailto:hahnsurvey@gmail.com)> wrote:

To all -

I have submitted a preliminary plat to Leavenworth County Planning And Zoning.

The Planning Staff requires your written input for the proposed plat.

Please review the attached subdivision plat and forward comments to [pz@leavenworthcounty.gov](mailto:pz@leavenworthcounty.gov)

Thank You,

Larry Hahn, PS  
Hahn Surveying  
PO Box 186

## Schweitzer, Joshua

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**From:** Dedeke, Andrew <adedeke@lvsheriff.org>  
**Sent:** Wednesday, April 22, 2026 9:55 AM  
**To:** Schweitzer, Joshua  
**Subject:** RE: DEV-26-052 & 053 Preliminary & Final Plat HTD Estates - Hahn

No concerns.

---

**From:** Schweitzer, Joshua  
**Sent:** Wednesday, April 22, 2026 9:35 AM  
**To:** McAfee, Joe ; Noll, Bill ; 'Mitch Pleak' ; Baumchen, Daniel ; Dedeke, Andrew ; Brown, Misty ; Miller, Jamie ; Dedeke, Andrew ; Magaha, Chuck  
**Cc:** PZ  
**Subject:** DEV-26-052 & 053 Preliminary & Final Plat HTD Estates - Hahn

Good Morning,

The Leavenworth County Department of Planning and Zoning has received a request for a Preliminary & Final Plat for 3-lot subdivision located at 145-22-0-00-00-006.05.

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by May 6, 2026.

If you have any questions or need additional information, please contact me at (913) 684-0465 or at [pzmail@leavenworthcounty.gov](mailto:pzmail@leavenworthcounty.gov)

v / r

Joshua J. Schweitzer  
Planner II  
Leavenworth County Planning & Zoning  
300 Walnut St, Suite 212  
Leavenworth County, Kansas 66048  
(913) 684-0465

***FRAUD ALERT: Our office has been notified of multiple fraudulent emails requesting payment of fees to a non-agency account. All application fees are paid at the time of application and any additional required fees will be requested on official letterhead. Furthermore, the County does not have an online payment option. If you receive an email or letter requesting payment of fees that appears to come from the Leavenworth County Planning & Zoning Department or Planning Commission, please contact our office at 913.684.0465 before making any payments online or by phone. We appreciate your cooperation in this matter.***

### Disclaimer

*This message and any attachments are intended only for the use of the recipient or their authorized representative. The information provided in this email is limited in scope and response detail by available information, current zoning and subdivision regulations. Depending on the level of development, the applicable regulations can change. Final approval cannot be granted until a complete application has been submitted, reviewed*

## Schweitzer, Joshua

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**From:** Anderson, Kyle  
**Sent:** Tuesday, April 28, 2026 9:28 AM  
**To:** Schweitzer, Joshua  
**Subject:** RE: DEV-26-052 & 053 Preliminary & Final Plat HTD Estates - Hahn

We have not received any complaints on this property, and we are not aware of any septic systems currently installed on it.

Kyle Anderson  
Environmental Technician/Code Enforcement  
Leavenworth County Planning & Zoning  
300 Walnut St. Ste. 212  
Leavenworth, KS 66048  
913-684-1084

**FRAUD ALERT:** *Our office has been notified of multiple fraudulent emails requesting payment of fees to a non-agency account. All application fees are paid at the time of application and any additional required fees will be requested on official letterhead. Furthermore, the County does not have an online payment option. If you receive an email or letter requesting payment of fees that appears to come from the Leavenworth County Planning & Zoning Department or Planning Commission, please contact our office at 913.684.0465 before making any payments online or by phone. We appreciate your cooperation in this matter.*

*Disclaimer: This message and any attachments are intended only for the use of the recipient or their authorized representative. The information provided in this email is limited in scope and response detail by available information, current zoning and subdivision regulations. Depending on the level of development, the applicable regulations can change. Final approval cannot be granted until a complete application has been submitted, reviewed and approved by the governing body. Nothing in this message or its contents should be interpreted to authorize or conclude approval by Leavenworth County.*

---

**From:** Schweitzer, Joshua  
**Sent:** Wednesday, April 22, 2026 9:35 AM  
**To:** McAfee, Joe ; Noll, Bill ; 'Mitch Pleak' ; Baumchen, Daniel ; 'adedeke@lvsheriff.org' ; Brown, Misty ; Miller, Jamie ; 'adedeke@lvsheriff.org' ; Magaha, Chuck  
**Cc:** PZ  
**Subject:** DEV-26-052 & 053 Preliminary & Final Plat HTD Estates - Hahn

Good Morning,

The Leavenworth County Department of Planning and Zoning has received a request for a Preliminary & Final Plat for 3-lot subdivision located at 145-22-0-00-00-006.05.

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by May 6, 2026.

If you have any questions or need additional information, please contact me at (913) 684-0465 or at [pzmail@leavenworthcounty.gov](mailto:pzmail@leavenworthcounty.gov)

v / r

Joshua J. Schweitzer

**Leavenworth County  
Request for Board Action  
Case No. DEV-26-051 & 070  
Preliminary & Final Plat Acres of Foxridge CAE East  
\*Regular Agenda\***

**Date: June 24, 2026  
To: Board of County Commissioners  
From: Planning & Zoning Staff**

**Department Head Review: John Jacobson, Reviewed**

**Additional Reviews as needed:**

**Budget Review  Administrator Review  Legal Review**

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**Action Request:**

Chairman, I find that the proposed Final Plat as outlined in case DEV-26-070 is compliant with the County Zoning & Subdivision Regulations and move that the proposed Final Plat be conditionally approved and accepted by this Board subject to the conditions set forth in the staff report and as adopted by the Planning Commission.

**Analysis:** The applicant is proposing to divide 63-acre parcels into five (5) lots. The Subdivision is classified as a Class C with all lots lying within the Rural Growth Area of Leavenworth County. Staff is supportive of a waiver of the requirement to connect to a sanitary sewer system as sanitary sewers are not located within 660' of the subdivision (see condition 3). Lots 1-3 & 5 range in size from approximately 10 to 18 acres. Lot 4 will be approximately 4 acres. The proposed subdivision does require two exceptions. Lots 2 & 4 exceed the Lot-width to Lot-depth ratio. Lot 2 exceeds the 1:4 ratio by approximately 300 feet and Lot 4 exceeds the 1:1 ratio by approximately 200 feet. Lots 2 & 5 exceed the maximum 150' building setback line.

During the Preliminary Plat phase, exceptions were granted for:

1. Exception to Article 50 Section 40.3.i., Lot-depth to Lot-width
2. Exception to Article 3, Lot-depth definition/building setback line

The final plat meets the standards set forth in the Leavenworth County Zoning and Subdivision Regulations with the approved exceptions.

**Recommendation:** The Planning Commission voted 7-0 (2 absent) to recommend approval of Case No.DEV-26-070, Final Plat for Acres of Foxridge CAE East subject to conditions.

**Alternatives:**

1. Approve Case No. DEV-26-070, Final Plat for Acres of Foxridge CAE East, with Findings of Fact, and with or without conditions; or

2. Deny Case No. DEV-26-070, Final Plat for Acres of Foxridge CAE East, with Findings of Fact; or
3. Revise or Modify the Planning Commission Recommendation to Case No. DEV-26-070, Final Plat for Acres of Foxridge CAE East, with Findings of Fact; or
4. Remand the case back to the Planning Commission.

**Budgetary Impact:**

- Not Applicable
- Budgeted item with available funds
- Non-Budgeted item with available funds through prioritization
- Non-Budgeted item with additional funds requested

**Total Amount Requested:** \$0.00

**Additional Attachments:** Staff Report, Plat

**LEAVENWORTH COUNTY  
PLANNING COMMISSION  
STAFF REPORT**

**CASE NO:** DEV-26-051 & 070 Acres of Foxridge CAE East

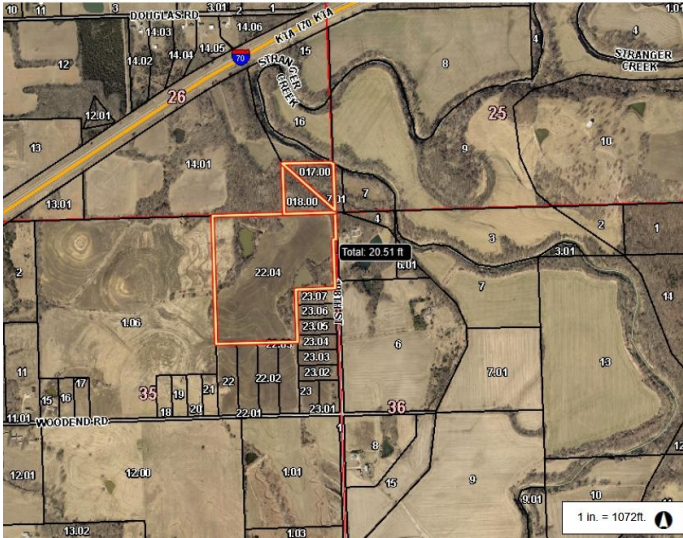
June 10, 2026

**REQUEST:** *Regular Agenda*

- Preliminary Plat       Final Plat  
 Replat

**STAFF REPRESENTATIVE:**  
JOSH SCHWEITZER  
Planner II

**SUBJECT PROPERTY:** 00000 198<sup>th</sup> Street



**APPLICANT/APPLICANT AGENT:**  
Joe Herring  
Herring Surveying Company  
Leavenworth, KS

**PROPERTY OWNER:**  
KC Barndo Company  
Linwood Development  
Linwood, KS  
Camdenton, MO

**CONCURRENT APPLICATIONS:**  
NONE

**LAND USE**

**ZONING:** RR-2.5

**FUTURE LAND USE DESIGNATION:**  
RR-2.5

**LEGAL DESCRIPTION:**

Lot 5 of Acres of Foxridge 5<sup>th</sup> Plat & tracts of land in the Southeast Quarter of Section 26, Township 11 South, Range 21, East of the 6<sup>th</sup> P.M., in Leavenworth County Kansas.

**SUBDIVISION:** N/A

**FLOODPLAIN:** Zone AE & Floodway AE

**STAFF RECOMMENDATION:** APPROVAL

**PROPERTY INFORMATION**

**ACTION OPTIONS:**

1. Recommend approval of Case No. DEV-26-051 & 070, Preliminary & Final Plat for Acres of Foxridge CAE East, to the Board of County Commission, with or without conditions; or
2. Recommend denial of Case No. DEV-26-051 & 070, Preliminary & Final Plat for Acres of Foxridge CAE East to the Board of County Commission for the following reasons; or
3. Continue the hearing to another date, time, and place.

**PARCEL SIZE:** 63 Total Acres

**PARCEL ID NO:**  
197-35-0-00-00-022.04; 197-26-0-00-00-018; 017

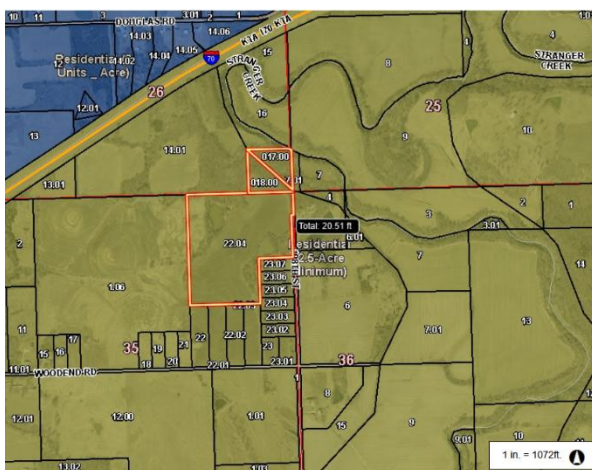
**BUILDINGS:**  
N/A

**PROJECT SUMMARY:**

Request for a preliminary & final plat approval to subdivide property located at 00000 198<sup>th</sup> St. (PID #197-35-0-00-00-022.04; 197-26-0-00-00-018; 017) as Lots 01 through 05 of Acres of Foxridge CAE East. A Cross Access Easement Subdivision.

**ACCESS/STREET:**  
198<sup>th</sup> Street - Local, Gravel ± 20';

**FUTURE LAND USE DESIGNATION MAP:**



**UTILITIES**

**SEWER:** Private Septic

**FIRE:** FD# 2

**WATER:** RWD 10

**ELECTRIC:** Evergy

**NOTICE & REVIEW:**

**STAFF REVIEW:**  
6/2/2026

**NEWSPAPER NOTIFICATION:**  
N/A

**NOTICE TO SURROUNDING  
PROPERTY OWNERS:**  
N/A

<b>STANDARDS TO BE CONSIDERED:</b>			
<b>Leavenworth County Zoning and Subdivision Standards: Preliminary Review</b>		<b>Met</b>	<b>Not Met</b>
35-40	<b>Preliminary Plat Content</b>	X	
40-20	<b>Final Plat Content</b>	X	
41-6	<b>Access Management</b>	X	
41-6.B.a-c.	<b>Entrance Spacing</b>	X	
41-6.C.	<b>Public Road Access Management Standards</b>	X	
43	<b>Cross Access Easements</b>	N/A	
50-20	<b>Utility Requirements</b>	X	
50-30	<b>Other Requirements</b>	X	
50-40	<b>Minimum Design Standards</b>		X
	Lot-depth to Lot-width & exceeding the 150' Building Setback Line		
50-50	<b>Sensitive Land Development</b>	N/A	
50-60.	<b>Dedication of Reservation of Public Sites and Open Spaces</b>	N/A	

**STAFF COMMENTS:**

The applicant is proposing to divide 63-acre parcels into five (5) lots. The Subdivision is classified as a Class C with all lots lying within the Rural Growth Area of Leavenworth County. Staff is supportive of a waiver of the requirement to connect to a sanitary sewer system as sanitary sewers are not located within 660' of the subdivision (see condition 3). Lots 1-3 & 5 range in size from approximately 10 to 18 acres. Lot 4 will be approximately 4 acres. The proposed subdivision does require two exceptions. Lots 2 & 4 exceed the Lot-width to Lot-depth ratio. Lot 2 exceeds the 1:4 ratio by approximately 300 feet and Lot 4 exceeds the 1:1 ratio by approximately 200 feet. Lots 2 & 5 exceed the maximum 150' building setback line.

**EXCEPTIONS:**

The applicant has requested an exception from Article 50, Section 40.3.i. – Lot-depth to Lot-width. The criteria for the acceptance of an exception are as follows:

1. That there are special circumstances or conditions affecting the property.
2. That the variance or exception is necessary for the reasonable and acceptable development of the property in question.
3. That the granting of the variance or exception will not be detrimental to the public welfare or injurious to the adjacent property.

*Motion: Chairman, I find that all three criteria for an exception to Article 50, Section 40.3.i. Lot-depth to Lot-Width (have/have not) been met and I move to approve an exception from Article 50, Section 40.3.i. Lot-depth to Lot-Width, as submitted by the application.*

The applicant has requested an exception from Article 3. – Building Setback Line. The criteria for the acceptance of an exception are as follows:

1. That there are special circumstances or conditions affecting the property.
2. That the variance or exception is necessary for the reasonable and acceptable development of the property in question.
3. That the granting of the variance or exception will not be detrimental to the public welfare or injurious to the adjacent property.

*Motion: Chairman, I find that all three criteria for an exception to Article 3. – Building Setback Line (have/have not) been met and I move to approve an exception from Article 3. – Building Setback Line, as submitted by the application.*

**PROPOSED CONDITIONS:**

1. Building permits shall be required for any new construction.
2. Erosion control shall be used when designing and constructing driveways. A form of sediment control shall be installed before work begins and maintained throughout the time that the land disturbing activities are taking place. Re-vegetation of all disturbed sites shall be completed within 45 days after completion of final grading weather permitting.
3. A waiver for the use of private septic systems within this subdivision is granted with this approval.
4. At time of development, fire hydrants shall be required, if necessary, infrastructure is available. If the infrastructure is not available to support fire hydrants, a letter from the Water District stating such must be provided prior to any building permit being issued.
5. Must provide updated plats in compliance with all outstanding review comments made by County Staff prior to recording.
6. The developer must comply with the following memorandums:
  - Memo – RWD 10, dated April 24, 2026
  - Memo – Everyg, dated April 23, 2026

**PROPOSED MOTIONS:**

Approve case DEV-26-051/070, a request to plat the property located at 00000 198<sup>th</sup> St. into a 5-lot Cross Access Easement subdivision in conformance with the Zoning and Subdivision Regulations with a majority vote; or

*Motion: Chairman, I find that the subdivision request complies with the Zoning and Subdivision Regulations and move to recommend approval to the Board of County Commissioners of the request as outlined in Case DEV-26-051/070 based on the recommendation of Planning Staff and the findings as set forth in the Staff Report.*

Deny case DEV-26-051/070, a request to plat the property located at 00000 198<sup>th</sup> St. into a 5-lot Cross Access Easement subdivision not in conformance with the Zoning and Subdivision Regulations with a majority vote; or

*Motion: Chairman, I find that the subdivision request does not comply with the Zoning and Subdivision Regulations (list Article and Section #) and move to recommend denial to the Board of County Commissioners as outlined in Case DEV-26-051/070.*

Table the case to a date and time certain for additional information.

*Motion: Chairman, I move to table Case No. DEV-26-051/070 to (Date and Time) requesting additional information for (STATE THE REASON(S)).*

**ATTACHMENTS:**

- A: Application & Narrative
- B: Zoning Map
- C: Road Map (A minimum of 1/4 mile)
- D: Memorandums

FINAL &  
**PRELIMINARY PLAT APPLICATION**  
 Leavenworth County Planning and Zoning Department  
 300 Walnut St., Suite 212  
 Leavenworth, Kansas  
 913-684-0465

Office Use Only

Township: \_\_\_\_\_ Planning Commission Meeting Date: \_\_\_\_\_  
 Case No. \_\_\_\_\_ Date Received/Paid: \_\_\_\_\_  
 Zoning District \_\_\_\_\_ Comprehensive Plan Land Use Designation: \_\_\_\_\_

**APPLICANT/AGENT INFORMATION**

**OWNER INFORMATION**

NAME: Herring Surveying Company NAME: LINWOOD DEVELOPMENT CO.  
 KC BARNDO COMPANY LLC  
 MAILING ADDRESS: 315 North 5th Street MAILING ADDRESS 20895 LOWELL AVE #STE 100  
 CITY/ST/ZIP: Leavenworth, KS 66048 CITY/ST/ZIP OVERLAND PARK, KS 66210  
 PHONE: \_\_\_\_\_ PHONE: N/A  
 EMAIL: \_\_\_\_\_ EMAIL N/A

**GENERAL INFORMATION**

Proposed Subdivision Name: ACRES OF FOXRIDGE C.A.E. EAST  
 Address of Property: 00000 198th Street  
 PID: 195-35-0-00-00-001.07 & 197-26...018 Urban Growth Management Area: N/A

**SUBDIVISION INFORMATION**

Gross Acreage: <u>64 Ac</u>	Number of Lots: <u>5</u>	Minimum Lot Size: <u>3.5 Ac</u>
Maximum Lot Size: <u>18 Ac</u>	Proposed Zoning: <u>RR 2.5</u>	Density: <u>N/A</u>
Open Space Acreage: <u>N/A</u>	Water District: <u>RWD 10</u>	Proposed Sewage: <u>Septic</u>
Fire District: <u>Sherman</u>	Electric Provider: <u>Evergy</u>	Natural Gas Provider: <u>Atmos / Propane</u>
Covenants: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Road Classification: <u>Local - Collector - Arterial - State - Federal</u>	
	Cross-Access Easement Requested: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
List of all Requested Exceptions: <i>Exceptions may be granted per Article 56 or as otherwise stated in the Zoning &amp; Subdivision Regulations.</i>	1. <u>Width to Depth Lots 2 and 4</u>	
	2. _____	
	3. _____	
	4. _____	
	5. _____	

Is any part of the site designated as Floodplain?  Yes  No if yes, what is the panel number: 20103C0325G

I, the undersigned, am the owner, **duly authorized agent**, of the aforementioned property situated in the unincorporated portion of Leavenworth County, Kansas. By execution of my signature, I do hereby officially apply for a final plat approval as indicated above.

Signature: Joe Herring - digitally signed 5-12-26

Date: 5-12-26

**ATTACHMENT A**

# Lawyers Title of Kansas, Inc.



121 Express Lane, Suite A Lansing, KS 66043  
913-682-3368

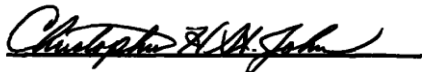
## OWNERS AND ENCUMBRANCE REPORT SCHEDULE A

1. Effective Date: **04/21/2026 07:00 AM** **Case No: 49333**
2. Title to the **Fee Simple** estate or interest in the land described or referred to in this Report is as the effective date hereof vested in:  
**KC Barndo Company LLC**
3. The land referred to in this Report is described as follows:  
**0 Woodend Rd Linwood, KS 66052**

**See Page 2 Schedule A for Legal Description**

The undersigned is a duly licensed and qualified abstractor for the State of Kansas, a member in good standing of the Kansas Land Title Association and the American Land Title Association whose bond as required by law is in force at the date of this report.

**Lawyers Title of Topeka, Inc.**



**Abstractor**

**Lawyers Title of Kansas, Inc.**  
**OWNERS AND ENCUMBRANCE REPORT**  
**SCHEDULE A**  
**Legal Description**

**Case No.: 49333**

**LOT 5, ACRES OF FOXRIDGE 5TH PLAT, a minor subdivision in Leavenworth County, Kansas.**

# Lawyers Title of Kansas, Inc.



121 Express Lane, Suite A Lansing, KS 66043  
913-682-3368

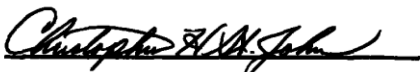
## OWNERS AND ENCUMBRANCE REPORT SCHEDULE A

1. Effective Date: **04/21/2026 07:00 AM** **Case No: 49897**
2. Title to the **Fee Simple** estate or interest in the land described or referred to in this Report is as the effective date hereof vested in:  
**LINWOOD DEVELOPMENT, LLC, a DELINQUENT KANSAS LIMITED LIABILITY COMPANY**
3. The land referred to in this Report is described as follows:  
**0 Woodend Rd Linwood, KS 66052**

**See Page 2 Schedule A for Legal Description**

The undersigned is a duly licensed and qualified abstractor for the State of Kansas, a member in good standing of the Kansas Land Title Association and the American Land Title Association whose bond as required by law is in force at the date of this report.

**Lawyers Title of Topeka, Inc.**



**Abstractor**

# Lawyers Title of Kansas, Inc.

## OWNERS AND ENCUMBRANCE REPORT

### SCHEDULE A Legal Description

Case No.: 49897

Tract of land in the Southeast Quarter of Section 26 and the Northeast Quarter of Section 35, Township 11 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas, as written by Joseph A. Herring PS-1296 on March 9, 2023, and more fully described as follows: Commencing at the Southwest corner of said Northeast Quarter; thence North 88 degrees 20'06" East for a distance of 1013.86 feet along the South line of said Northeast Quarter to the TRUE POINT OF BEGINNING; thence North 01 degrees 39'54" West for a distance of 2639.82 feet to the North line of said Northeast Quarter; thence North 87 degrees 59'15" East for a distance of 942.23 feet along said North line; thence North 01 degrees 45'51" West for a distance of 659.85 feet; thence North 88 degrees 05'25" East for a distance of 655.20 feet to the East line of the Southeast Quarter of said Section 26; thence South 01 degrees 42'52" East for a distance of 658.68 feet along said East line to the Northeast corner of the Northeast Quarter of said Section 35; thence South 02 degrees 07'09" East for a distance of 1024.60 feet along said East line; thence South 87 degrees 52'51" West for a distance 550.00 feet; thence South 02 degrees 07'09" East for a distance 1620.63 feet to the South line of said Northeast Quarter; thence South 88 degrees 20'06" West for a distance of 1067.81 feet along said South line to the point of beginning.

### LESS

Tract of land in the Northeast Quarter of Section 35, Township 11 South, Range 21 East of the 6th P.M. Leavenworth County, Kansas, as written by Joseph A. Herring PS-1296 on March 9, 2023 (corrected July 28, 2025), and more fully described as follows: Commencing at the Southwest corner of said Northeast Quarter; thence North 88 degrees 20'06" East for a distance of 1013.86 feet along the South line of said Northeast Quarter to the TRUE POINT OF BEGINNING; thence North 01 degrees 39'54" West for a distance of 2639.82 feet to the North line of said Northeast Quarter; thence North 87 degrees 59'15" East for a distance of 1596.87 feet along said North line to the Northeast corner of said Northeast Quarter; thence South 02 degrees 07'09" East for a distance of 1024.60 feet along said East line; thence South 87 degrees 52'51" West for a distance of 550.00 feet; thence South 02 degrees 07'09" East for a distance of 1620.63 feet to the South line of said Northeast Quarter, thence South 88 degrees 20'06" West for a distance of 1067.81 feet along said South line to the point of beginning. Subject to that part in road.

AFFIDAVIT

Authorization of Contractors or Individuals to Act as Agents of a Landowner  
COUNTY OF LEAVENWORTH  
STATE OF KANSAS

We/I Robert K Fox and Linwood Development, LLC

Being dully sworn, dispose and say that we/I are the owner(s) of said property located at -  
198<sup>th</sup> E Woodend Rd, Linwood, KS, and that we authorize the following people or firms to act in our interest with the Leavenworth County Planning and Zoning Department for a period of one calendar year. Additionally, all statements herein contained in the information herewith submitted are in all respects true and correct to the best of our knowledge and belief.

Authorized Agents (full name, address & telephone number)

- 1) Joseph A. Herring – Herring Surveying Company 315 N. 5<sup>th</sup> Street, Leavenworth, KS 66048, 913-651-3858
- 2)

Signed and entered this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Robert Fox 49 Landscape Ln 65020 573-881-7867

Print Name, Address, Telephone

Robert K Fox

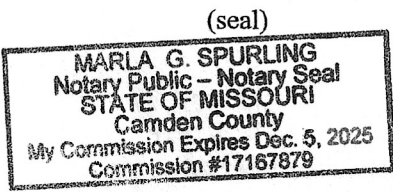
Signature

STATE OF ~~KANSAS~~ <sup>Missouri</sup> )  
~~COUNTY OF LEAVENWORTH~~ <sup>Camden</sup> ) SS

Be it remember that on this 24 day of Oct 2025, before me, a notary public in and for said County and State came Robert Fox to me personally known to be the same persons who executed the forgoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

NOTARY PUBLIC Marla G Spurling

My Commission Expires: Dec 5, 2025



AFFIDAVIT

Authorization of Contractors or Individuals to Act as Agents of a Landowner

COUNTY OF LEAVENWORTH

STATE OF KANSAS

We/I Cody Ketzner and Brandon Dockins

Being dully sworn, dispose and say that we/I are the owner(s) of said property located at \_\_\_\_\_, and that we authorize the following people or firms to act in our interest with the Leavenworth County Planning and Zoning Department for a period of one calendar year. Additionally, all statements herein contained in the information herewith submitted are in all respects true and correct to the best of our knowledge and belief.

Authorized Agents (full name, address & telephone number)

1) Joseph A. Herring – Herring Surveying Company 315 N. 5<sup>th</sup> Street, Leavenworth, KS 66048, 913-651-3858

2)

Signed and entered this 28th day of October, 2025.

Print Name, Address, Telephone

Cody Ketzner Brandon E. Dockins

Signature

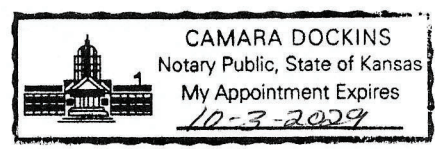
STATE OF KANSAS )  
 ) SS  
COUNTY OF LEAVENWORTH )

Be it remember that on this 28<sup>th</sup> day of October 2025, before me, a notary public in and for said County and State came Cody Ketzner & Brandon Dockins to me personally known to be the same persons who executed the forgoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

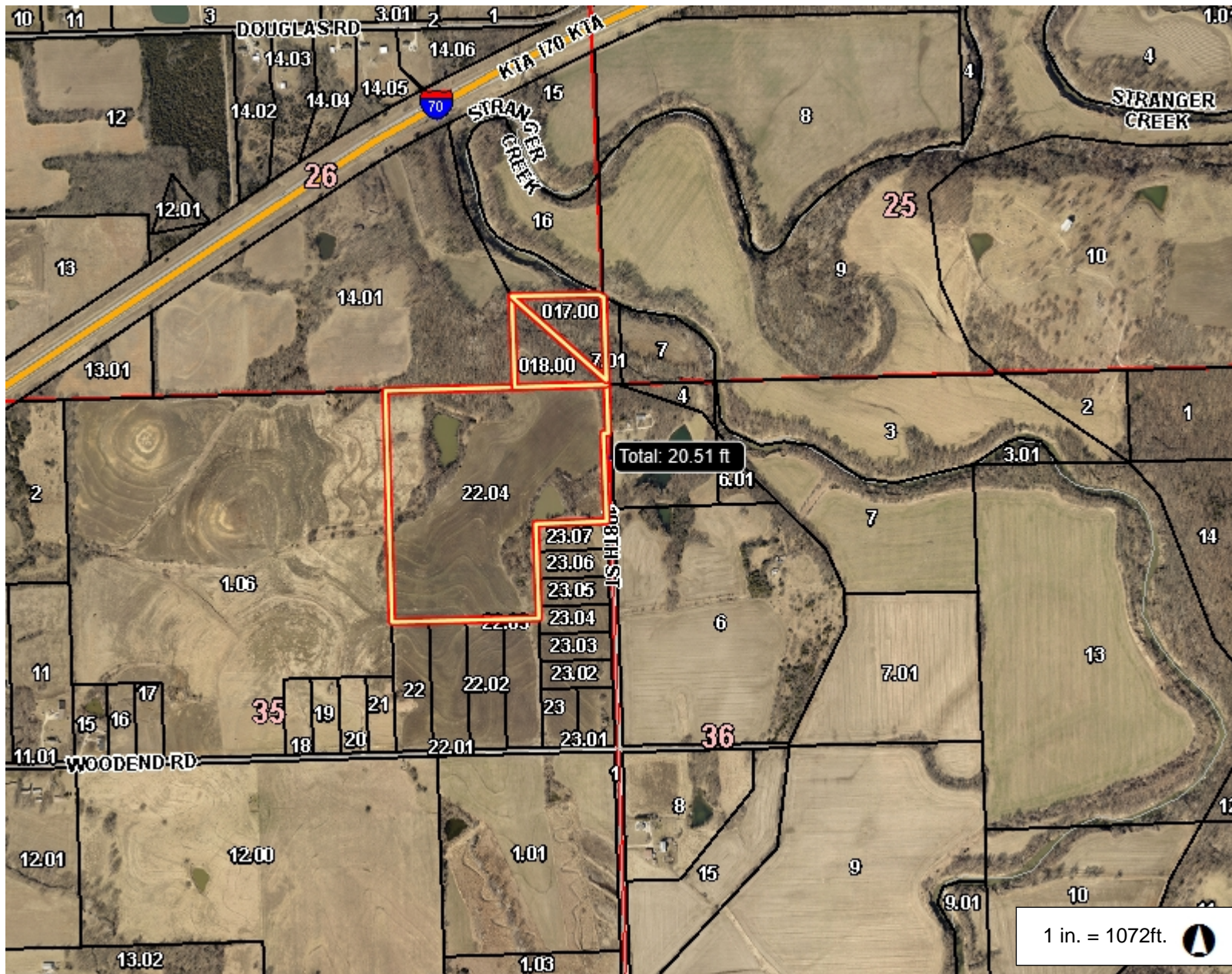
NOTARY PUBLIC Camara Dockins

My Commission Expires: 10-3-2029

(seal)




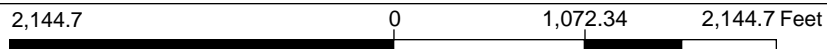
# Leavenworth County, KS



## Legend

- Parcel Number
- Parcel
- City Limit Line
- Major Road
  - <all other values>
  - 70
- Road
  - <all other values>
  - PRIVATE
- Railroad
- Section
- Section Boundaries
- County Boundary

1 in. = 1072ft. 

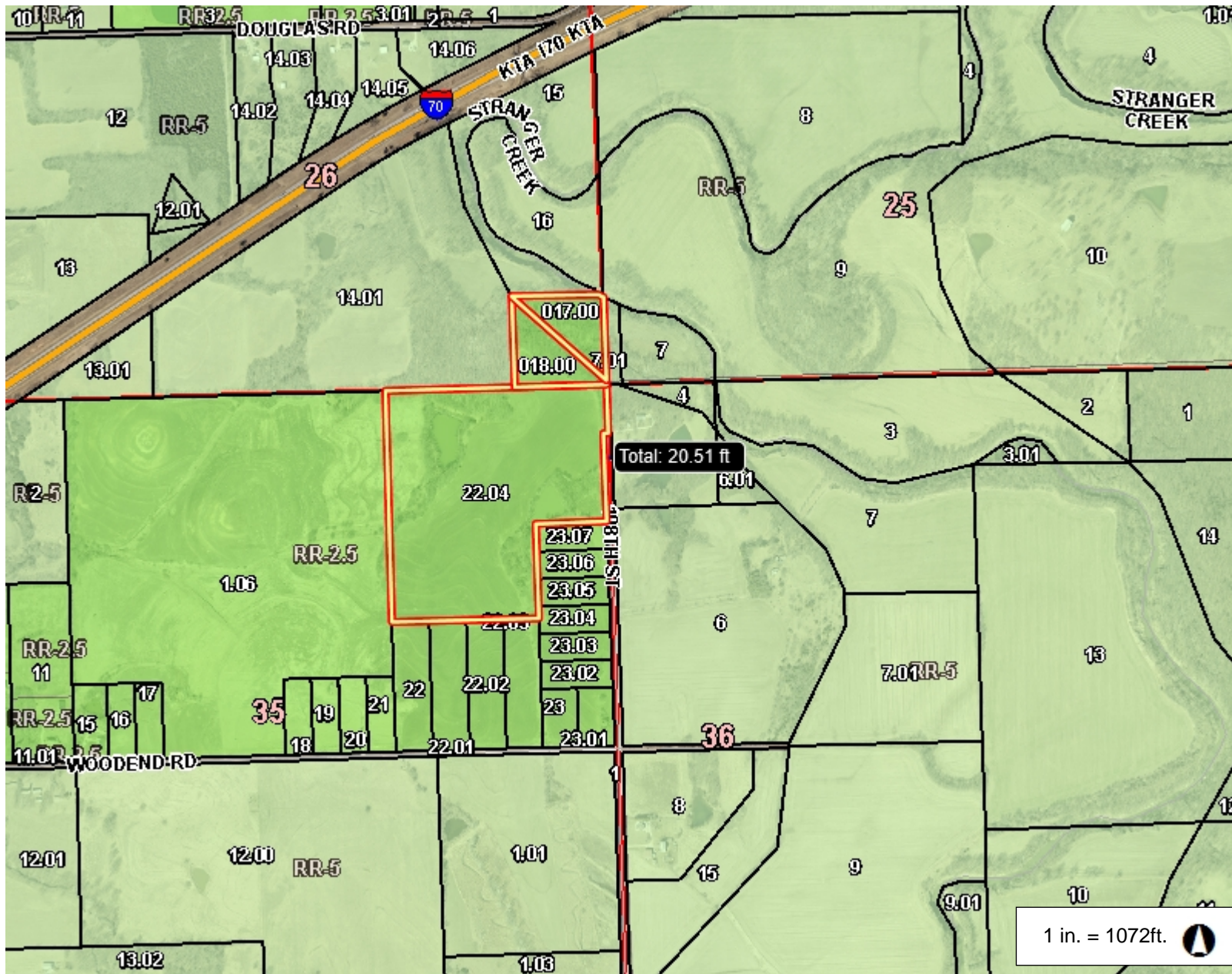


This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

## Notes

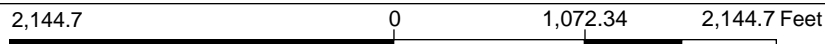
# Leavenworth County, KS



### Legend

- Parcel Number
- Parcel
- City Limit Line
- Major Road
  - <all other values>
  - 70
- Road
  - <all other values>
  - PRIVATE
- Railroad
- Section
- Section Boundaries
- County Boundary
- Zoning
  - B-1
  - B-2
  - B-3
  - I-1
  - I-2
  - I-3
  - MXD
  - PC
  - PI
  - PR-1
  - PR-2
  - PR-3

1 in. = 1072ft.



This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.  
THIS MAP IS NOT TO BE USED FOR NAVIGATION

### Notes

6-01-26 PW Combined review. No further comment.

Acres of Foxridge 5<sup>th</sup> Plat CAE

Leavenworth County Kansas

Drainage Report

March 14, 2026

Revised May 7, 2026

Revised May 28, 2026



Foxridge CAE - Article 3. Lot-width - Building Setback Line

**ARTICLE 56 – EXCEPTIONS**

Where in the case of a particular proposed subdivision, it can be shown that strict compliance with the requirements of these regulations would result in extraordinary hardship to the subdivider because of unusual topography or other non-self-inflicted conditions; or that these conditions would result in inhibiting the achievement of the objectives of these regulations; the Planning Commission may vary, modify or waive the requirements so that substantial justice may be done and the public interest secured; provided, that such variance, modification or waiver will not have the effect of nullifying the intent and purpose of these regulations or interfering with carrying out the Comprehensive Plan.

In recommending such variance or exception, the Planning Commission shall find the following:

1. That there are special circumstances or conditions affecting the property.
2. That the variance or exception is necessary for the reasonable and acceptable development of the property in question.
3. That the granting of the variance or exception will not be detrimental to the public welfare or injurious to adjacent property.

Building Setback Line exceeding 150' on Lots 2 and 5.

- 1) CAE plat with private driveway. Lot 2 is a large lot - developer did not want to maximize number of lots and keeping a limited number of homes with this phase - Lot is deep and the prime building area is south of the shown B.S.L. - moving the setback farther south does not have any negative impact. Lot 5 - this property is owner by a different party than Lots 1-4. Lot also has a dedicated road on the East and Northeasterly side that has not been constructed and is located within Stranger Creek Flood Plain. Owners negotiated an agreement to allow this tract to access the C.A.E. Private Drive - in doing so the developer of Lots 1-4 had to give up some land from Lots 3 and 4. This land serves as the connection to the Private Drive but it has several restrictions to include that no structure can be built on said strip - ideally the owners wanted a 40 or 60 foot strip but to meet the required 200 foot setback width they agreed to a wedge shape tract of land that widened out to 200 feet at the common property line per deeds.
- 2) Allows for best used of the property for building sites on each lot while also gaining access to Lot 5 outside of the Stranger Creek Flood area.
- 3) It will not

Foxridge CAE - Article 50, Section 40.3.i. Lot-width

**ARTICLE 56 – EXCEPTIONS**

Where in the case of a particular proposed subdivision, it can be shown that strict compliance with the requirements of these regulations would result in extraordinary hardship to the subdivider because of unusual topography or other non-self-inflicted conditions; or that these conditions would result in inhibiting the achievement of the objectives of these regulations; the Planning Commission may vary, modify or waive the requirements so that substantial justice may be done and the public interest secured; provided, that such variance, modification or waiver will not have the effect of nullifying the intent and purpose of these regulations or interfering with carrying out the Comprehensive Plan.

In recommending such variance or exception, the Planning Commission shall find the following:

1. That there are special circumstances or conditions affecting the property.
2. That the variance or exception is necessary for the reasonable and acceptable development of the property in question.
3. That the granting of the variance or exception will not be detrimental to the public welfare or injurious to adjacent property.

Width to Depth - Lots 2 and 4.

- 1) CAE plat with private driveway. Lot 2 is a large lot - developer did not want to maximize number of lots and keeping a limited number of homes with this phase - terrain of Lot 2 makes for best build site for this area. Lot 4 - corner lot with a dedicated road that has not been constructed.
- 2) Allows for best used of the property for building sites on each lot.
- 3) It will not

# ACRES OF FOXRIDGE C.A.E. EAST

A Cross Access Easement Subdivision being a Replat of Lot 5, ACRES OF FOXRIDGE 5TH PLAT and the Southeast Quarter of the Southeast Quarter of the Southeast Quarter of Section 26, Township 11 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas.

RECORD DESCRIPTION:  
 Lot 5, ACRES OF FOXRIDGE 5TH PLAT, Leavenworth County, Kansas.  
 AND  
 The Southeast Quarter of the Southeast Quarter of the Southeast Quarter of Section 26,  
 Township 11 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas.

## PRELIMINARY PLAT

PREPARED FOR:  
 KC BARNDU COMPANY LLC  
 19908 WOODEND RD  
 LINWOOD, KS 66052  
 PID NO. 197-35...001.07

LINWOOD DEVELOPMENT LLC  
 49 LANDSCAPE LN  
 CAMDENTON, MO 65020  
 197-26...018

**06-01-26  
 PW Combined  
 Comments**

### RESTRICTIONS:

- 1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
- 2) An Engineered Waste Disposal System may be required due to poor soil conditions.
- 3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
- 4) All Lots only have Access to FOXRIDGE DRIVE through the Cross Access Easement.
- 5) All structures built within the subdivision shall comply with Resolution 2020-39, or as amended.
- 6) Lots 3 & 5 are impacted by the special flood zone. Any building to be constructed in or near the special flood hazard shall provide an elevation certificate to be approved by Leavenworth County prior to the issuance of a building permit along with any other applicable Federal, State or Local permit.
- 7) Lots are subject to the off-plat Home Owner's Association detailing the maintenance of the Cross Access Easement. Document #2026R
- 8) Leavenworth County shall bear no responsibility for any maintenance and upkeep of the Cross Access Easement, private drive, and private drive appurtenances.
- 9) Exception to regulation Article 50, Section 40.3.1. Lot-width for Lots 2 and 4 granted this plat.
- 10) Exception to regulation Article 3, of the Lot-Width definition, exceeding the 150' maximum for Lot 2 and 5.

### ZONING - RR-2.5 Acres

### NOTES:

- 1) This survey does not show ownership.
- 2) All distances are calculated from measurements or measured this survey, unless otherwise noted.
- 3) All recorded and measured distances are the same, unless otherwise noted.
- 4) Error of Closure - See Surveyor's Description
- 5) Basis of Bearing - KS SPC North Zone 1501
- 6) Monument Origin Unknown, unless otherwise noted.
- 7) Proposed Lots for Residential Use.
- 8) Road Record - See Survey
- 9) Benchmark - NAVD88
- 10) Project Benchmark (BM) - SE COR Section 35 - Elev - 855'
- 11) Easements, if any, are created hereon or listed in referenced title commitment.
- 12) Reference Recorded Deed Doc # 2025R06931
- 13) Utility Companies -  
 - Water - Water District 10  
 - Electric - Evergy  
 - Sewer - Septic / Lagoon  
 - Gas - Propane / Natural Gas
- 14) Reference Lawyer's Title Company File Number 49897 & 49333 updated April 21, 2026
- 15) Property is in a Special Flood Hazard Area Zone AE per FEMA FIRM Map 20103C0325G dated July 16, 2015
- 16) Building Setback Lines as shown hereon or noted below  
 - All side yard setbacks - 15' (Accessory - 15')  
 - All rear yard setbacks - 40' (Accessory - 15')
- 17) Distances to and of structures, if any, are +/- 1'
- 18) Easements as per referenced Title Commitment are shown hereon, if any.
- 19) Fence Lines do not necessarily denote the boundary line for the property.
- 20) Reference Surveys:  
 DGW - D.G. White Surveys S-12 #49 1984 NKA1984S049  
 S-12 #30 1987 NKA1987S030  
 TBM - T.B. Melton Survey S-15 #73 2005 NKA2005S073  
 KH - K. Herring Survey 1977  
 JAH - J.A. Herring Survey Doc # 2023S018  
 ACRES OF FOXRIDGE 2ND PLAT Doc # 2023P00036

BLACKTHORN LAND & TRADING LLC  
 PID #197-26...015

BLACKTHORN LAND & TRADING LLC  
 PID #197-26...014.01

19V  
 NW COR NE 1/4  
 Sec. 35-11-21  
 1/2" Rebar Cap #610

LINWOOD DEVELOPMENT LLC  
 PID #197-35...001.06

LINWOOD DEVELOPMENT LLC  
 PID #197-35...023.07  
 LOT 8  
 ACRES OF FOXRIDGE 4TH  
 Doc# 2026P00014

LINWOOD DEVELOPMENT LLC  
 PID #197-35...023.06  
 LOT 7  
 ACRES OF FOXRIDGE 4TH  
 Doc# 2026P00014

LINWOOD DEVELOPMENT LLC  
 PID #197-35...023.05  
 LOT 6  
 ACRES OF FOXRIDGE 4TH  
 Doc# 2026P00014

LINWOOD DEVELOPMENT LLC  
 PID #197-35...023.04  
 LOT 5  
 ACRES OF FOXRIDGE 4TH  
 Doc# 2026P00014

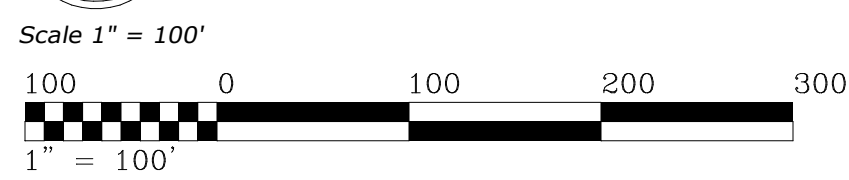
KC BARNDU LLC  
 PID #197-35...022  
 LOT 2  
 ACRES OF FOXRIDGE 5TH  
 Doc #2026P00010

KC BARNDU LLC  
 PID #197-35...022.01  
 LOT 2  
 ACRES OF FOXRIDGE 5TH  
 Doc #2026P00010

KC BARNDU LLC  
 PID #197-35...022.02  
 LOT 3  
 ACRES OF FOXRIDGE 5TH  
 Doc #2026P00010

KC BARNDU LLC  
 PID #197-35...022.03  
 LOT 4  
 ACRES OF FOXRIDGE 5TH  
 Doc #2026P00010

- LEGEND:**
- - 1/2" Rebar Set with Cap No. 1296
  - - 1/2" Rebar Found, unless otherwise noted.
  - - Concrete Base around Point
  - △ - PK Nail Found in Place
  - ( ) - Record / Deeded Distance
  - U/E - Utility Easement
  - D/E - Drainage Easement
  - B.S.L. - Building Setback Line
  - R/W - Permanent Dedicated Roadway Easement
  - BM - Benchmark
  - NS - Not Set this survey per agreement with client
  - A - Arc Distance
  - R - Arc Radius
  - B - Chord Bearing
  - C - Chord Distance
  - //// - No Vehicle Entrance Access
  - NS - Not Set this survey per agreement with client
  - - Power Pole
  - X - Fence Line
  - OHP - Overhead Power Lines
  - T - Underground Telephone/Fiber Optic Line
  - ◇ - Gas Valve
  - ⊕ - Water Meter/Valve
  - ⊕ - Telephone Pedestal
  - W - 6" Water Line - location as per district
  - ~ - Tree/Brush Line



# ACRES OF FOXRIDGE C.A.E. EAST

A Cross Access Easement Subdivision being a Replat of Lot 5, ACRES OF FOXRIDGE 5TH PLAT and the Southeast Quarter of the Southeast Quarter of the Southeast Quarter of Section 26, Township 11 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas.

## FINAL PLAT

PREPARED FOR:  
 KC BARNDY COMPANY LLC  
 19908 WOODEND RD  
 LINWOOD, KS 66052  
 PID NO. 197-35...001.07

LINWOOD DEVELOPMENT LLC  
 49 LANDSCAPE LN  
 CAMDENTON, MO 65020  
 197-26...018

**CERTIFICATION AND DEDICATION**  
 The undersigned proprietors state that all taxes of the above described tract of land have been paid and that they have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be known as: ACRES OF FOXRIDGE C.A.E. EAST.

Easements shown on this plat are hereby dedicated for public use, the rights of way which are shown with dashed lines on the accompanying plat, and said easements may be employed to locate and maintain sewers, water lines, gas lines, poles and wires and any other form of public utility now and hereafter used by the public over, under and along the strips marked "Utility Easement" (U/E).

"Drainage Easements" or "D/E" shown on this plat are hereby dedicated for the purpose of constructing, using, replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby dedicated for public use. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities. The maintenance and upkeep of said Easements shall be the responsibility of the individual owners of the lots whereupon said Easements are dedicated. Leavenworth County shall bear no responsibility for any maintenance and upkeep of said Easements.

Building Lines or Setback Lines (B.S.L.) are hereby established as shown on the accompanying plat and no building or portion thereof shall be built or constructed between this line and the street line.

An easement to enter and exit under or over the area outlined and designated on this plat as "Cross Access Easement" or "C.A.E." is hereby granted over all Lots. Maintenance is to be shared between the owners of all Lots. Home Owner's Association (H.O.A.) recorded at the Leavenworth County Register of Deeds Office Doc # 2026R

IN TESTIMONY WHEREOF, We, the undersigned owners of ACRES OF FOXRIDGE 5TH PLAT, have set our hands this day of \_\_\_\_\_, 2026.

Cody Howard  
 KC BARNDY COMPANY LLC

Robert E. Fox, Member  
 LINWOOD DEVELOPMENT LLC

**NOTARY CERTIFICATE:**  
 Be it remembered that on this \_\_\_\_\_ day of \_\_\_\_\_, 2026, before me, a notary public in and for said County and State came Cody Howard, KC BARNDY COMPANY, LLC, to me personally known to be the same persons who executed the forgoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

**NOTARY PUBLIC**  
 My Commission Expires: \_\_\_\_\_ (seal)

**NOTARY CERTIFICATE:**  
 Be it remembered that on this \_\_\_\_\_ day of \_\_\_\_\_, 2026, before me, a notary public in and for said County and State came Robert K. Fox, Member of Linwood Development LLC, to me personally known to be the same persons who executed the forgoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

**NOTARY PUBLIC**  
 My Commission Expires: \_\_\_\_\_ (seal)

19V  
 NW COR NE 1/4  
 Sec. 35-11-21  
 1/2" Rebar Cap #610

1021.68'

1239.89'

5.01739541" E 1704.82'

1429.93'

164.93'

10' U/E

10' U/E

10' U/E

10' U/E

10' U/E

10' U/E

10' U/E

10' U/E

10' U/E

10' U/E

10' U/E

10' U/E

10' U/E

10' U/E

10' U/E

**RECORD DESCRIPTION:**  
 Lot 5, ACRES OF FOXRIDGE 5TH PLAT, Leavenworth County, Kansas.  
 AND  
 The Southeast Quarter of the Southeast Quarter of the Southeast Quarter of Section 26, Township 11 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas.

- RESTRICTIONS:**
- 1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
  - 2) An Engineered Waste Disposal System may be required due to poor soil conditions.
  - 3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
  - 4) All Lots only have Access to FOXRIDGE DRIVE through the Cross Access Easement.
  - 5) All structures built within the subdivision shall comply with Resolution 2020-39, or as amended.
  - 6) Lots 3 & 5 are impacted by the special flood zone. Any building to be constructed in or near the special flood hazard shall provide an elevation certificate to be approved by Leavenworth County prior to the issuance of a building permit along with any other applicable Federal, State or Local permit.
  - 7) Lots are subject to the off-plat Home Owner's Association detailing the maintenance of the Cross Access Easement. Document #2026R
  - 8) Leavenworth County shall bear no responsibility for any maintenance and upkeep of the Cross Access Easement, private drive, and private drive appurtenances.
  - 9) Exception to regulation Article 50, Section 40.3.i. Lot-width for Lots 2 and 4 granted this plat.
  - 10) Exception to regulation Article 3, of the Lot-Width definition, exceeding the 150' maximum for Lot 2 and 5.

**06-01-26  
 PW Combined  
 Comments**

**APPROVALS**  
 We, the Leavenworth County Planning Commission, do hereby approve the foregoing plat of ACRES OF FOXRIDGE 5TH PLAT this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Secretary: John Jacobson  
 Chairman: Jeff Spink

**COUNTY ENGINEER'S APPROVAL:**  
 The County Engineer's plat review is only for general conformance with the subdivision regulations as adopted by Leavenworth County. The County is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

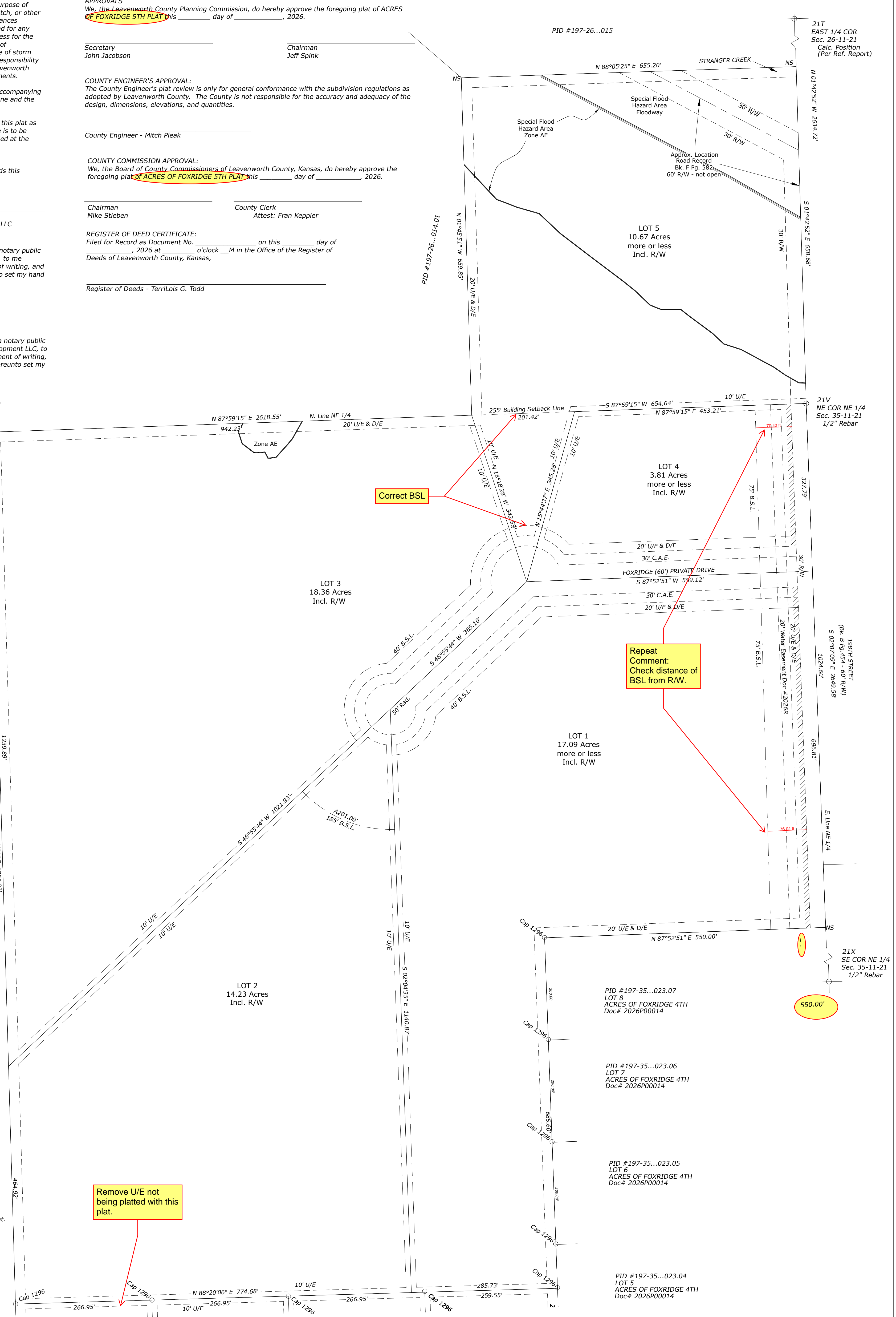
County Engineer - Mitch Pleak

**COUNTY COMMISSION APPROVAL:**  
 We, the Board of County Commissioners of Leavenworth County, Kansas, do hereby approve the foregoing plat of ACRES OF FOXRIDGE 5TH PLAT this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Chairman: Mike Stieben  
 County Clerk: Fran Keppler

**REGISTER OF DEED CERTIFICATE:**  
 Filed for Record as Document No. \_\_\_\_\_ on this \_\_\_\_\_ day of \_\_\_\_\_, 2026 at \_\_\_\_\_ o'clock \_\_\_\_\_ M in the Office of the Register of Deeds of Leavenworth County, Kansas.

Register of Deeds - TerriLois G. Todd



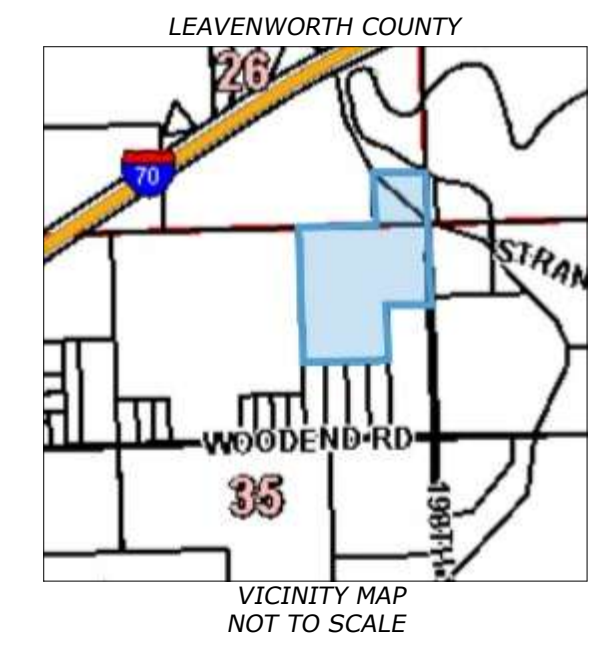
### ZONING - RR-2.5 Acres

- NOTES:**
- 1) This survey does not show ownership.
  - 2) All distances are calculated from measurements or measured this survey, unless otherwise noted.
  - 3) All recorded and measured distances are the same, unless otherwise noted.
  - 4) Error of Closure - See Surveyor's Description
  - 5) Basis of Bearing - KS SPC North Zone 1501
  - 6) Monument Origin Unknown, unless otherwise noted.
  - 7) Proposed Lots for Residential Use.
  - 8) Road Record - See Survey
  - 9) Benchmark - NAVD88 Project Benchmark (BM) - SE COR Section 35 - Elev - 855'
  - 10) Easements, if any, are created hereon or listed in referenced title commitment.
  - 11) Reference Recorded Deed Doc # 2025R06931
  - 12) Utility Companies -  
 - Water - Water District 10  
 - Electric - Evergy  
 - Sewer - Septic / Lagoon  
 - Gas - Propane / Natural Gas
  - 13) Reference Lawyer's Title Company File Number 49897 & 49333 updated April 21, 2026
  - 14) Property is in a Special Flood Hazard Area Zone AE per FEMA FIRN Map 20103C0325G dated July 16, 2015
  - 15) Building Setback Lines as shown hereon or noted below  
 - All side yard setbacks - 15' (Accessory - 15')  
 - All rear yard setbacks - 40' (Accessory - 15')
  - 16) Distances to and of structures, if any, are + - 1'.
  - 17) Easements as per referenced Title Commitment are shown hereon, if any.
  - 18) Fence Lines do not necessarily denote the boundary line for the property.
  - 19) Reference Surveys:  
 D.G.W. - D.G. White Surveys S-12 #49 1984 NKA19845049 S-12 #30 1987 NKA19875030  
 TBM - T.B. Melton Survey S-15 #73 2005 NKA20055073  
 KH - K. Herring Survey 1577  
 JAH - J.A. Herring Survey Doc # 2023S018  
 ACRES OF FOXRIDGE 2ND PLAT Doc # 2023P00036

I hereby certify that this plat meets the requirements of K.S.A. 58-2005. The face of this plat was reviewed for compliance with Kansas Minimum Standards for Boundary Surveys. No field verification is implied. This review is for survey information only.

Daniel Baumchen, PS#1363  
 County Surveyor

- LEGEND:**
- - 1/2" Rebar Set with Cap No. 1296
  - - 1/2" Rebar Found, unless otherwise noted.
  - - Concrete Base around Point
  - △ - PK Nail Found in Place
  - ( ) - Record / Deeded Distance
  - A - Arc Distance
  - R - Arc Radius
  - B - Chord Bearing
  - C - Chord Distance
  - //// - No Vehicle Entrance Access
  - NS - Not Set this survey per agreement with client



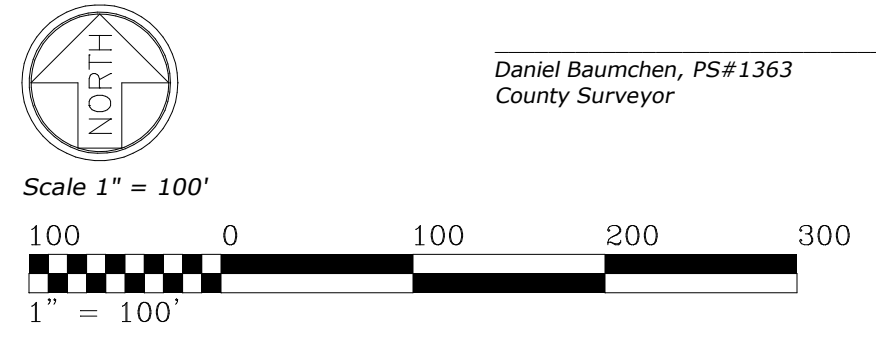
I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the dates of March through May 2026 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring  
 PS # 1296

Job # K-26-1645 - 5th CAE  
 March 28, 2026 Rev. May 21, 2026

**J. HERRING SURVEYING COMPANY**

315 North 5th Street, Leav., KS 66048  
 Ph: 913.651.3858 Fax: 913.674.5381  
 Email: survey@camcash.com



# ACRES OF FOXRIDGE C.A.E. EAST

A Cross Access Easement Subdivision being a Replat of Lot 5, ACRES OF FOXRIDGE 5TH PLAT and the Southeast Quarter of the Southeast Quarter of the Southeast Quarter of Section 26, Township 11 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas.

## FINAL PLAT

PREPARED FOR:  
KC BARND COMPANY LLC  
19908 WOODEND RD  
LINWOOD, KS 66052  
PID NO. 197-35...001.07

LINWOOD DEVELOPMENT LLC  
49 LANDSCAPE LN  
CAMDENTON, MO 65020  
197-26...018

**CERTIFICATION AND DEDICATION**  
The undersigned proprietors state that all taxes of the above described tract of land have been paid and that they have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be known as: ACRES OF FOXRIDGE C.A.E. EAST.

Easements shown on this plat are hereby dedicated for public use, the rights of way which are shown with dashed lines on the accompanying plat, and said easements may be employed to locate and maintain sewers, water lines, gas lines, poles and wires and any other form of public utility now and hereafter used by the public over, under and along the strips marked "Utility Easement" (U/E).

"Drainage Easements" or "D/E" shown on this plat are hereby dedicated for the purpose of constructing, using, replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby dedicated for public use. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities. The maintenance and upkeep of said Easements shall be the responsibility of the individual owners of the lots whereupon said Easements are dedicated. Leavenworth County shall bear no responsibility for any maintenance and upkeep of said Easements.

Building Lines or Setback Lines (B.S.L.) are hereby established as shown on the accompanying plat and no building or portion thereof shall be built or constructed between this line and the street line.

An easement to enter and exit under or over the area outlined and designated on this plat as "Cross Access Easement" or "C.A.E." is hereby granted over all Lots. Maintenance is to be shared between the owners of all Lots. Home Owner's Association (H.O.A.) recorded at the Leavenworth County Register of Deeds Office Doc # 2026R.

IN TESTIMONY WHEREOF,  
We, the undersigned owners of ACRES OF FOXRIDGE 5TH PLAT, have set our hands this day of \_\_\_\_\_, 2026.

Cody Howard  
KC BARND COMPANY LLC

Robert E. Fox, Member  
LINWOOD DEVELOPMENT LLC

**NOTARY CERTIFICATE:**  
Be it remembered that on this \_\_\_\_\_ day of \_\_\_\_\_, 2026, before me, a notary public in and for said County and State came Cody Howard, KC BARND COMPANY, LLC, to me personally known to be the same persons who executed the foregoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

**NOTARY PUBLIC**  
My Commission Expires: \_\_\_\_\_ (seal)

**NOTARY CERTIFICATE:**  
Be it remembered that on this \_\_\_\_\_ day of \_\_\_\_\_, 2026, before me, a notary public in and for said County and State came Robert K. Fox, Member of Linwood Development LLC, to me personally known to be the same persons who executed the foregoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

**NOTARY PUBLIC**  
My Commission Expires: \_\_\_\_\_ (seal)

19V  
NW COR NE 1/4  
Sec. 35-11-21  
1/2" Rebar Cap #610

19V  
NW COR NE 1/4  
Sec. 35-11-21  
1/2" Rebar Cap #610

19V  
NW COR NE 1/4  
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NW COR NE 1/4  
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1/2" Rebar Cap #610

**RECORD DESCRIPTION:**  
Lot 5, ACRES OF FOXRIDGE 5TH PLAT,  
Leavenworth County, Kansas.  
AND  
The Southeast Quarter of the Southeast Quarter  
of the Southeast Quarter of Section 26,  
Township 11 South, Range 21 East of the 6th  
P.M., Leavenworth County, Kansas.

- RESTRICTIONS:**
- 1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
  - 2) An Engineered Waste Disposal System may be required due to poor soil conditions.
  - 3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
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  - 8) Leavenworth County shall bear no responsibility for any maintenance and upkeep of the Cross Access Easement, private drive, and private drive appurtenances.
  - 9) Exception to regulation Article 50, Section 40.3.i. Lot-width for Lots 2 and 4 granted this plat.
  - 10) Exception to regulation Article 3, of the Lot-Width definition, exceeding the 150' maximum for Lot 2 and 5.

Edit plat name

**APPROVALS**  
We, the Leavenworth County Planning Commission, do hereby approve the foregoing plat of ACRES OF FOXRIDGE 5TH PLAT this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Secretary  
John Jacobson

Chairman  
Jeff Spink

**COUNTY ENGINEER'S APPROVAL:**  
The County Engineer's plat review is only for general conformance with the subdivision regulations as adopted by Leavenworth County. The County is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

County Engineer - Mitch Pleak

**COUNTY COMMISSION APPROVAL:**  
We, the Board of County Commissioners of Leavenworth County, Kansas, do hereby approve the foregoing plat of ACRES OF FOXRIDGE 5TH PLAT this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Chairman  
Mike Stieben

County Clerk  
Attest: Fran Keppler

**REGISTER OF DEED CERTIFICATE:**  
Filed for Record as Document No. \_\_\_\_\_ on this \_\_\_\_\_ day of \_\_\_\_\_, 2026 at \_\_\_\_\_ o'clock \_\_\_\_\_ M in the Office of the Register of Deeds of Leavenworth County, Kansas.

Register of Deeds - TerriLois G. Todd

Add Leaders

Show Monuments found or set at all exterior corners or offset/witness monument. Show all interior lot monuments.

Provide Exterior and Interior lot closure calcs

Label all dimensions along CAE R/W

Edit

Remove

Resize text to make readable

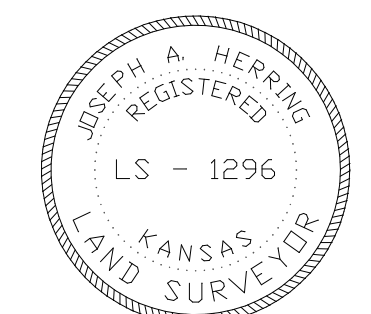
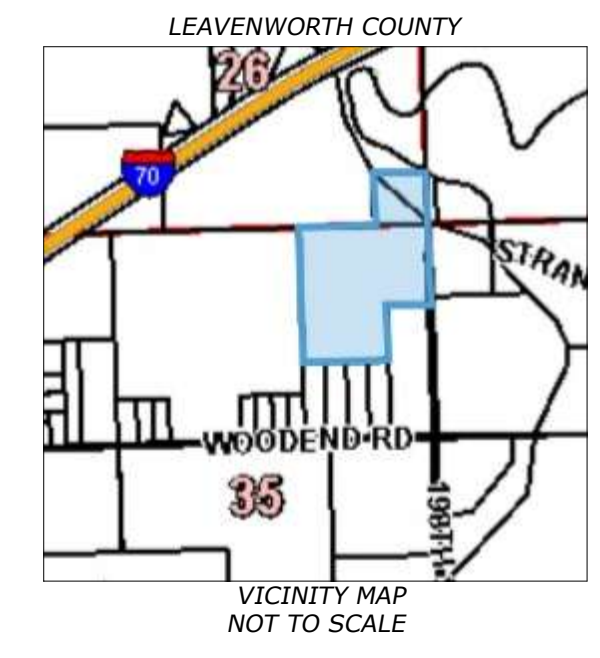
Text cut off

- ZONING - RR-2.5 Acres**
- NOTES:**
- 1) This survey does not show ownership.
  - 2) All distances are calculated from measurements or measured this survey, unless otherwise noted.
  - 3) All recorded and measured distances are the same, unless otherwise noted.
  - 4) Error of Closure - See Surveyor's Description
  - 5) Basis of Bearing - KS SPC North Zone 1501
  - 6) Monument Origin Unknown, unless otherwise noted.
  - 7) Proposed Lots for Residential Use.
  - 8) Road Record - See Survey
  - 9) Benchmark - NAVD83  
Project Benchmark (BM) - SE COR Section 35 - Elev - 855'
  - 10) Easements, if any, are created hereon or listed in referenced title commitment.
  - 11) Reference Recorded Deed Doc # 2025R06931
  - 12) Utility Companies -  
- Water - Water District 10  
- Electric - Evergy  
- Sewer - Septic / Lagoon  
- Gas - Propane / Natural Gas
  - 13) Reference Lawyer's Title Company File Number 49897 & 49333 updated April 21, 2026
  - 14) Property is in a Special Flood Hazard Area Zone AE per FEMA FIRM Map 20103C0325G dated July 16, 2015
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  - 19) Reference Surveys -  
D.G.W. - D.G. White Surveys S-12 #49 1984 NKA19845049 S-12 #30 1987 NKA19875030  
TBM - T.B. Melton Survey S-15 #73 2005 NKA20055073  
KH - K. Herring Survey 1977  
JAH - J.A. Herring Survey Doc # 2023S018  
ACRES OF FOXRIDGE 2ND PLAT Doc # 2023P00036

I hereby certify that this plat meets the requirements of K.S.A. 58-2005. The face of this plat was reviewed for compliance with Kansas Minimum Standards for Boundary Surveys. No field verification is implied. This review is for survey information only.

Daniel Baumchen, PS#1363  
County Surveyor

- LEGEND:**
- - 1/2" Rebar Set with Cap No. 1296
  - - 1/2" Rebar Found, unless otherwise noted.
  - - Concrete Base around Point
  - △ - PK Nail Found in Place
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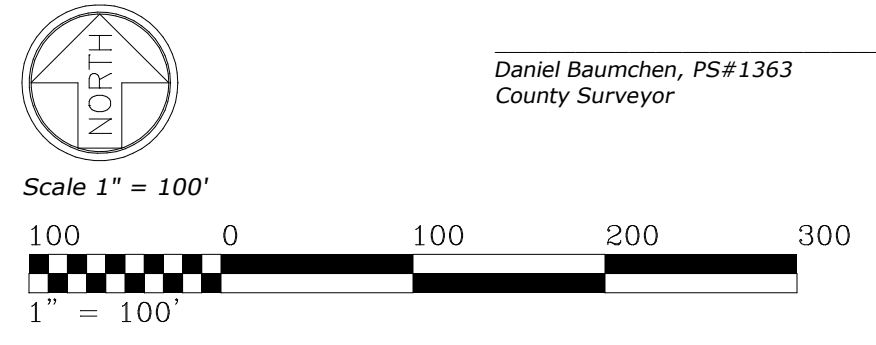
I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the dates of March through May 2026 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring  
PS # 1296

Job # K-26-1645 - 5th CAE  
March 28, 2026 Rev. May 21, 2026

J. HERRING  
SURVEYING  
COMPANY

315 North 5th Street, Leav., KS 66048  
Ph: 913.651.3858 Fax: 913.674.5381  
Email: survey@camcoah.com



# ACRES OF FOXRIDGE C.A.E. EAST

A Cross Access Easement Subdivision being a Replat of Lot 5, ACRES OF FOXRIDGE 5TH PLAT and the Southeast Quarter of the Southeast Quarter of the Southeast Quarter of Section 26, Township 11 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas.

## FINAL PLAT

PREPARED FOR:  
KC BARND COMPANY LLC  
19908 WOODEND RD  
LINWOOD, KS 66052  
PID NO. 197-35...022.04

LINWOOD DEVELOPMENT LLC  
49 LANDSCAPE LN  
CAMDEN, MO 65020  
197-26...018

**CERTIFICATION AND DEDICATION**  
The undersigned proprietors state that all taxes of the above described tract of land have been paid and that they have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be known as: ACRES OF FOXRIDGE C.A.E. EAST.

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**IN TESTIMONY WHEREOF,**  
We, the undersigned owners of ACRES OF FOXRIDGE C.A.E. EAST, have set our hands this day of \_\_\_\_\_, 2026.

Cody Howard  
KC BARND COMPANY LLC

Robert E. Fox, Member  
LINWOOD DEVELOPMENT LLC

**NOTARY CERTIFICATE:**  
Be it remembered that on this \_\_\_\_\_ day of \_\_\_\_\_, 2026, before me, a notary public in and for said County and State came Cody Howard, KC BARND COMPANY, LLC, to me personally known to be the same persons who executed the foregoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

**NOTARY PUBLIC**  
My Commission Expires: \_\_\_\_\_ (seal)

**NOTARY CERTIFICATE:**  
Be it remembered that on this \_\_\_\_\_ day of \_\_\_\_\_, 2026, before me, a notary public in and for said County and State came Robert K. Fox, Member of Linwood Development LLC, to me personally known to be the same persons who executed the foregoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

**NOTARY PUBLIC**  
My Commission Expires: \_\_\_\_\_ (seal)

19V  
NW COR NE 1/4  
Sec. 35-11-21  
1/2" Rebar Cap #610

PID #197-35...001.06

### ZONING - RR-2.5 Acres

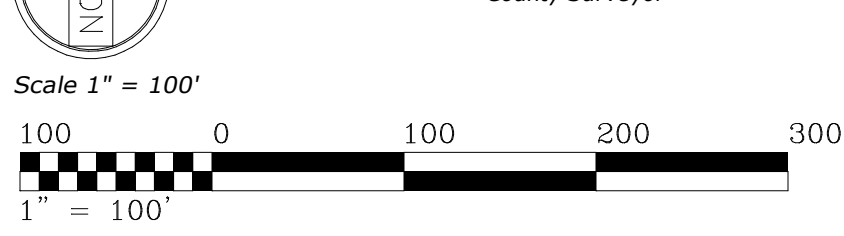
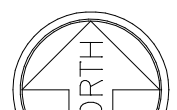
- NOTES:**
- 1) This survey does not show ownership.
  - 2) All distances are calculated from measurements or measured this survey, unless otherwise noted.
  - 3) All recorded and measured distances are the same, unless otherwise noted.
  - 4) Error of Closure - 1 : 471465, 52.26 Acres, more or less, Incl. R/W
  - 5) Basis of Bearing - KS SPC North Zone 1501
  - 6) Monument Origin Unknown, unless otherwise noted.
  - 7) Proposed Lots for Residential Use.
  - 8) Road Record - See Survey
  - 9) Benchmark - NAVD88  
Project Benchmark (BM) - SE COR Section 35 - Elev - 855'
  - 10) Easements, if any, are created hereon or listed in referenced title commitment.
  - 11) Reference Recorded Deed Doc # 2025R06931, #2024R07762
  - 12) Utility Companies -  
- Water - Water District 10  
- Electric - Evergy  
- Sewer - Septic / Lagoon  
- Gas - Propane / Natural Gas
  - 13) Reference Lawyer's Title Company File Number 49897 & 49333 updated April 21, 2026
  - 14) Property is in a Special Flood Hazard Area Zone AE per FEMA FIRM Map 20103C0325G dated July 16, 2015
  - 15) Building Setback Lines as shown hereon or noted below  
- All side yard setbacks - 15' (Accessory - 15')  
- All rear yard setbacks - 40' (Accessory - 15')
  - 16) Distances to and of structures, if any, are + - 1'.
  - 17) Easements as per referenced Title Commitment are shown hereon, if any.
  - 18) Fence Lines do not necessarily denote the boundary line for the property.
  - 19) Reference Surveys:  
D.G.W. - D.G. White Surveys S-12 #49 1984 NKA1984S049  
S-12 #30 1987 NKA1987S030  
TBM - T.B. Melton Survey S-15 #73 2005 NKA2005S073  
KH - K. Herring Survey 1577  
JAH - J.A. Herring Survey Doc # 2023S018  
ACRES OF FOXRIDGE 2ND PLAT Doc # 2023P00036

I hereby certify that this plat meets the requirements of K.S.A. 58-2005. The face of this plat was reviewed for compliance with Kansas Minimum Standards for Boundary Surveys. No field verification is implied. This review is for survey information only.

Job # K-26-1645 - 5th CAE  
March 28, 2026 Rev. June 2, 2026

J. HERRING  
SURVEYING  
COMPANY

315 North 5th Street, Leav., KS 66048  
Ph: 913.651.3858 Fax: 913.674.5381  
Email: survey@camcash.com



Daniel Baumen, PS#1363  
County Surveyor

**RECORD DESCRIPTION:**  
Lot 5, ACRES OF FOXRIDGE 5TH PLAT, Leavenworth County, Kansas.  
AND  
The Southeast Quarter of the Southeast Quarter of the Southeast Quarter of Section 26, Township 11 South, Range 21 East of the 6th P.M., Leavenworth County, Kansas.

### RESTRICTIONS:

- 1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
- 2) An Engineered Waste Disposal System may be required due to poor soil conditions.
- 3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
- 4) All Lots only have Access to FOXRIDGE DRIVE through the Cross Access Easement.
- 5) All structures built within the subdivision shall comply with Resolution 2020-39, or as amended.
- 6) Lots 3 & 5 are impacted by the special flood zone. Any building to be constructed in or near the special flood hazard shall provide an elevation certificate to be approved by Leavenworth County prior to the issuance of a building permit along with any other applicable Federal, State or Local permit.
- 7) Lots are subject to the off-plat Home Owner's Association detailing the maintenance of the Cross Access Easement. Document #2026R
- 8) Leavenworth County shall bear no responsibility for any maintenance and upkeep of the Cross Access Easement, private drive, and private drive appurtenances.
- 9) Exception to regulation Article 50, Section 40.3.i. Lot-width for Lots 2 and 4 granted this plat.
- 10) Exception to regulation Article 3, of the Lot-Width definition, exceeding the 150' maximum for Lot 2 and 5.

**APPROVALS**  
We, the Leavenworth County Planning Commission, do hereby approve the foregoing plat of ACRES OF FOXRIDGE C.A.E. EAST this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Secretary  
John Jacobson

Chairman  
Jeff Spink

**COUNTY ENGINEER'S APPROVAL:**  
The County Engineer's plat review is only for general conformance with the subdivision regulations as adopted by Leavenworth County. The County is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

County Engineer - Mitch Pleak

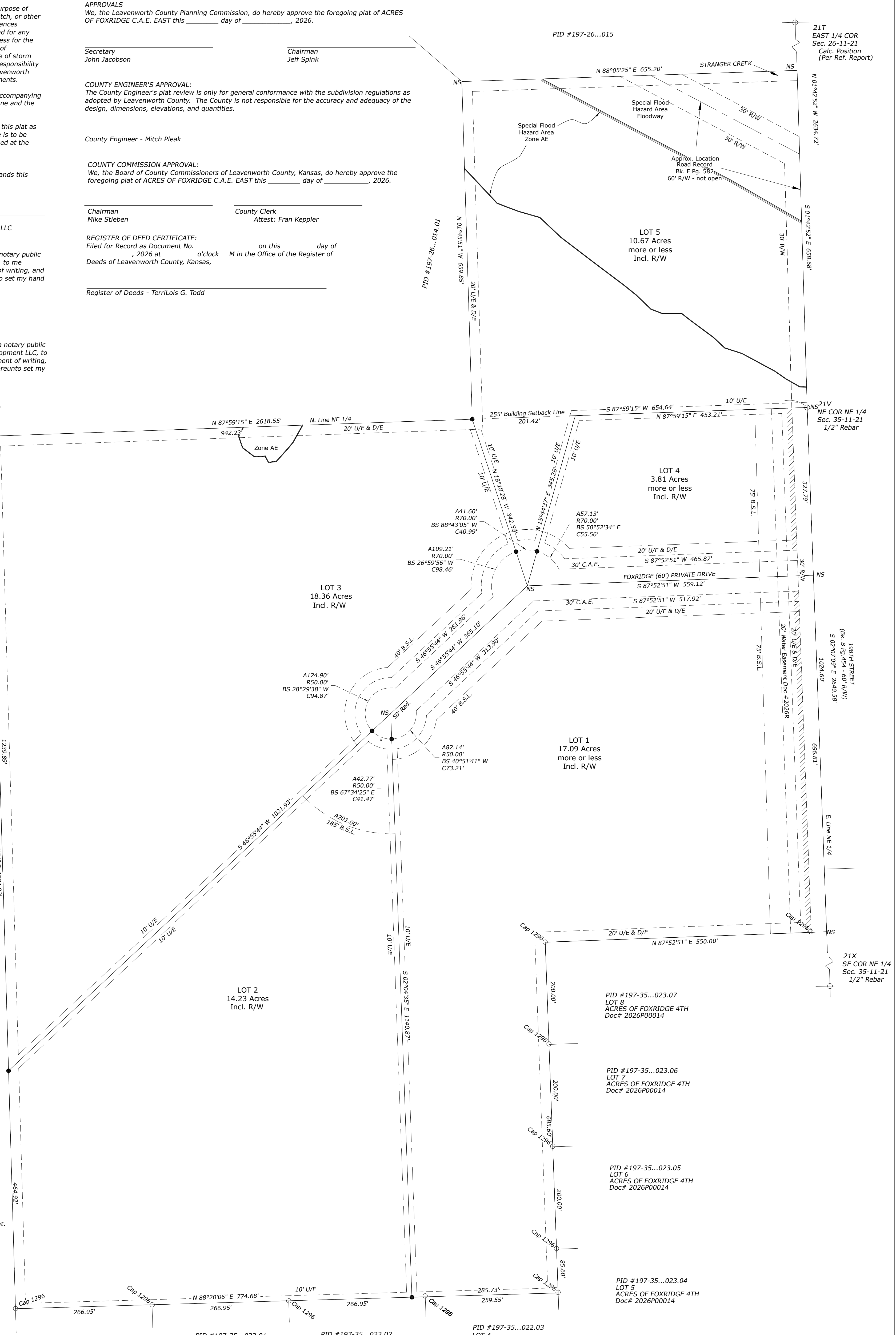
**COUNTY COMMISSION APPROVAL:**  
We, the Board of County Commissioners of Leavenworth County, Kansas, do hereby approve the foregoing plat of ACRES OF FOXRIDGE C.A.E. EAST this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Chairman  
Mike Stieben

County Clerk  
Attest: Fran Keppler

**REGISTER OF DEED CERTIFICATE:**  
Filed for Record as Document No. \_\_\_\_\_ on this \_\_\_\_\_ day of \_\_\_\_\_, 2026 at \_\_\_\_\_ o'clock \_\_\_\_\_ M in the Office of the Register of Deeds of Leavenworth County, Kansas.

Register of Deeds - TerriLois G. Todd



- LEGEND:**
- - 1/2" Rebar Set with Cap No. 1296
  - - 1/2" Rebar Found, unless otherwise noted.
  - - Concrete Base around Point
  - △ - PK Nail Found in Place
  - ( ) - Record / Deeded Distance
  - A - Arc Distance
  - R - Arc Radius
  - B - Chord Bearing
  - C - Chord Distance
  - //// - No Vehicle Entrance Access
  - NS - Not Set this survey per agreement with client



I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the dates of March through May 2026 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring  
PS # 1296

# ACRES OF FOXRIDGE 5TH PLAT CAE PRIVATE ROAD PLANS LEAVENWORTH COUNTY KANSAS

**06-01-26  
PW Combined  
Comments**

### Sheet Index

1. Title Sheet
2. Typical Section and General Notes
3. Plan & Profile
- 4-4A Cul-de-sac & Intersection Plan
5. Grading Plan
6. Details
- 7-8 Cross Sections

### UTILITY COMPANIES

Every	816-471-5275
AT&T	800-288-2020
RWD #10	913-723-3452
Kansas Dig Safe	1-800-344-7233



Project Location



Owner: KC Barndo Company, LLC  
4303 Merriam Drive, Ste.1  
Overland Park, KS 66203

Surveyor: Herring Surveying  
315 N. 5th Street  
Leavenworth, KS 66048  
913-651-3858

Engineer: David Lutgen  
704 Indian Trail Ct  
Smithville, MO 64089  
913-683-2864

Design Reference – AASHTO Guidelines for Geometric  
Design of Low-Volume Roads (2019 Edition)

Design Speed – 20 mph

NO.	DATE	REVISIONS	BY	APP'D
5				
4				
3				
2				
1				

Designed By: \_\_\_\_\_  
Drawn By: \_\_\_\_\_  
Checked By: \_\_\_\_\_  
Issue Date: \_\_\_\_\_  
Job No: \_\_\_\_\_

ACRES OF FOXRIDGE 5TH PLAT CAE  
LEAVENWORTH COUNTY KS  
FOXRIDGE DRIVE  
TITLE SHEET

SHEET NO.  
1

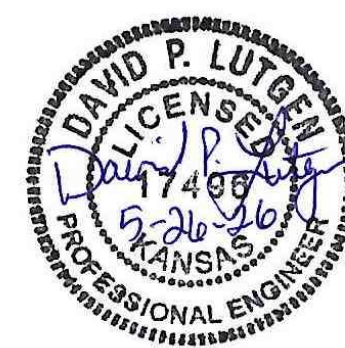
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XREF DWG2: NONE  
XREF DWG3: NONE  
XREF DWG4: NONE

*David Lutgen*

5/26/26

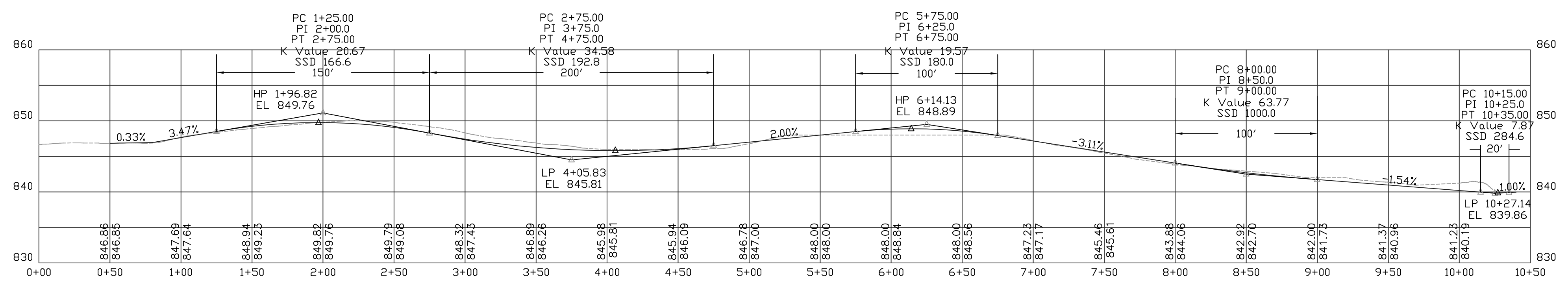
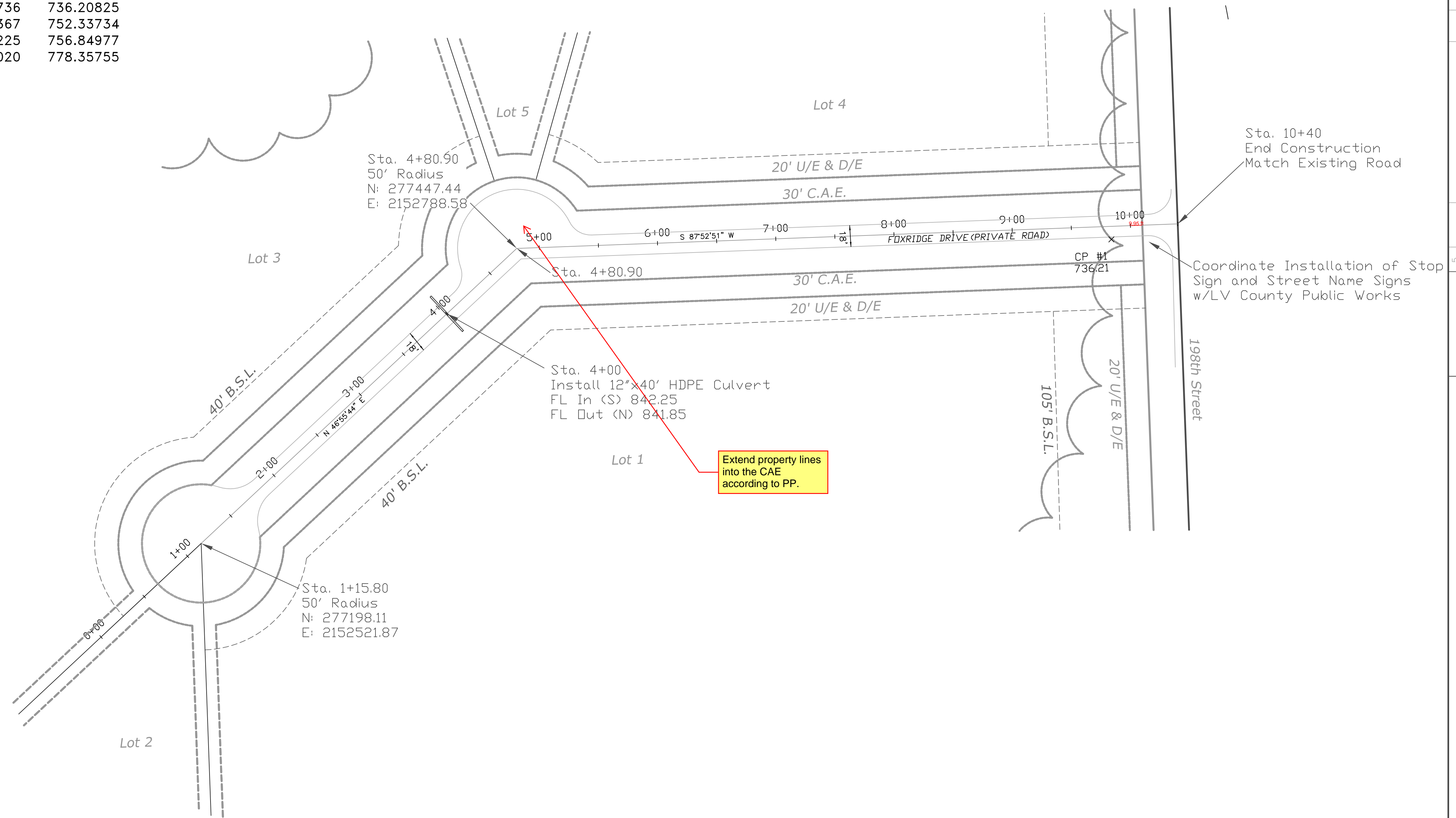
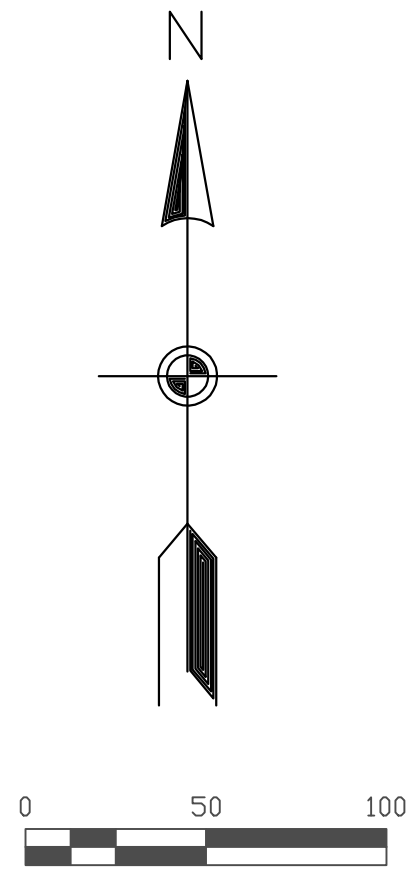
David P. Lutgen, P.E.

Date



	Northing	Easting	Elevation
CP #1 1/2" Iron Bar	277455.05543	2153291.22736	736.20825
CP #2 1/2" Iron Bar	275209.12360	2153407.78367	752.33734
CP #3 1/2" Iron Bar	275125.13987	2151245.00225	756.84977
CP #4 1/2" Iron Bar	276031.56237	2151434.56020	778.35755

KS SPC North Zone 1501



NO.	DATE	REVISIONS	BY	APP'D
5				
4				
3				
2				
1				

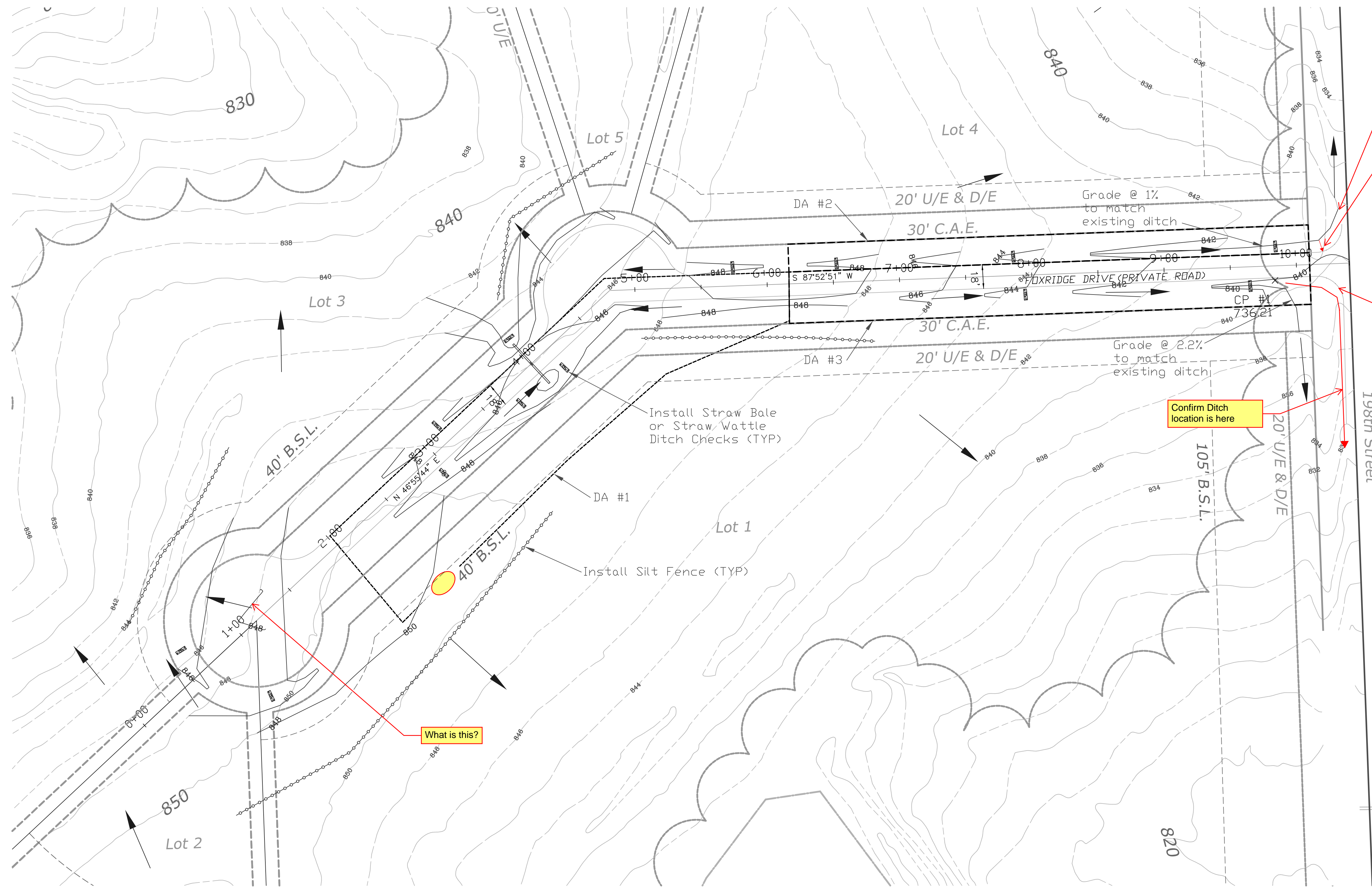
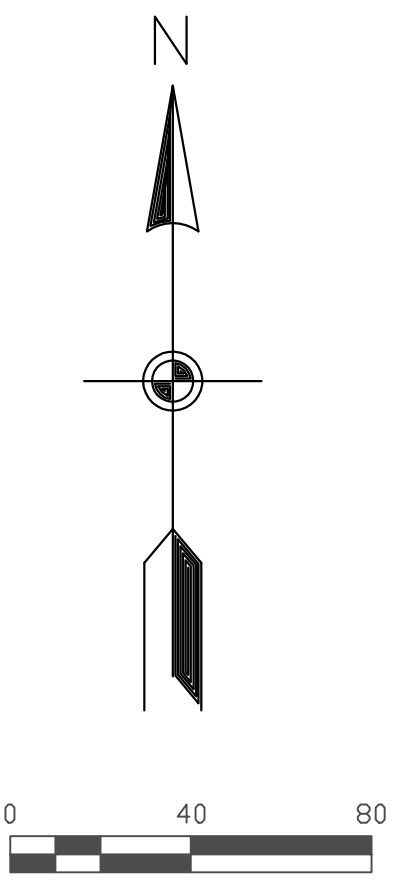
Designed By \_\_\_\_\_  
 Drawn By \_\_\_\_\_  
 Checked By \_\_\_\_\_  
 Issue Date: \_\_\_\_\_  
 Job No. \_\_\_\_\_

ACRES OF FOXRIDGE 5TH PLAT CAE  
 LEAVENWORTH COUNTY KS  
 FOXRIDGE DRIVE  
 PLAN & PROFILE

SHEET NO.  
 3

AUTOCAD VER.13 INFORMATION BLOCK	
BY	DATE
XREF DWG1: NONE	
XREF DWG2: NONE	
XREF DWG3: NONE	
XREF DWG4: NONE	

Culvert	Drainage Area	Drainage Area (acres)	c Value	Tc	Intensity		Diameter (in)	Length (ft)	Material	n value	Flow Rate (cfs)		Velocity (ft/sec)		25-yr HGL (ft)		100-yr HGL (ft)		Headwater (ft)			
					25-yr	100-yr					25-yr	100-yr	Down	Up	Down	Up	25-yr	100-yr	IC/OC			
4+00	1	0.69	0.36	18.73	5.51	6.79	12	40	HDPE	0.012	1.51	2.11	4.51	4.72	842.59	843.00	842.64	843.05	843.21	843.29	IC	
198th North Ditch	2	0.19	0.20	25.18		6.00						0.28		0.93							838.07	
199th South Ditch	3	0.35	0.44	18.64		6.80						1.31		1.65							838.17	



842 ties out to 840 contour, revise.

Grading conveys overland drainage towards road at this location, revise.

See Sheet 6 for ditch sections north and south along 198th St

Sheet 6 indicates a proposed edge elevation of 837.50. Add proposed 838 contour to coordinate with said elevation.

At road connection, provide additional grading information, coordinate with proposed profile for private drive, and coordinate with existing contours.

Confirm Ditch location is here


What is this?

AUTOCAD VER.13 INFORMATION BLOCK  
 DRAWING: BY: DATE:  
 XREF DWG1: NONE XREF DWG2: NONE  
 XREF DWG3: NONE XREF DWG4: NONE

NO.	DATE	REVISIONS	BY	APPD
5				
4				
3				
2				
1				

Designed By: \_\_\_\_\_  
 Drawn By: \_\_\_\_\_  
 Checked By: \_\_\_\_\_  
 Issue Date: \_\_\_\_\_  
 Job No.: \_\_\_\_\_

ACRES OF FOXRIDGE 5TH PLAT CAE  
 LEAVENWORTH COUNTY KS  
 FOXRIDGE DRIVE  
 GRADING & CULVERT PLAN  
 SHEET NO.  
 5



April 24, 2026

Brandon Dockins  
KC Barndo LLC  
4303 Merriam Dr.  
Overland Park, KS 66203

Re: Rural water service availability Acres of Foxridge C.A.E. East Lot 5 replat

Dear Mr. Dockins,

This letter is in response to your request for service at the proposed Acres of Foxridge C.A.E. East replat of lot 5 development Leavenworth County. Leavenworth RWD10 District's expansion project in this area is currently under construction according to enclosed plans. The 6-in main transmission line has been extended north from 198<sup>th</sup> St & Woodend per plans and all that remains is installation of the 2-inch pipeline which is pending road construction of Foxridge Drive. Once installed the District will be able to serve the five lots of the proposed plat upon purchase of benefit units/meters.

Please keep us updated on your progress and once road construction is complete, we can move forward with remainder of the waterline extension. If you have any additional questions or concerns, please do not hesitate to contact us.

Sincerely,

Steve Conley, District Manager  
Mary Conley, Business Manager

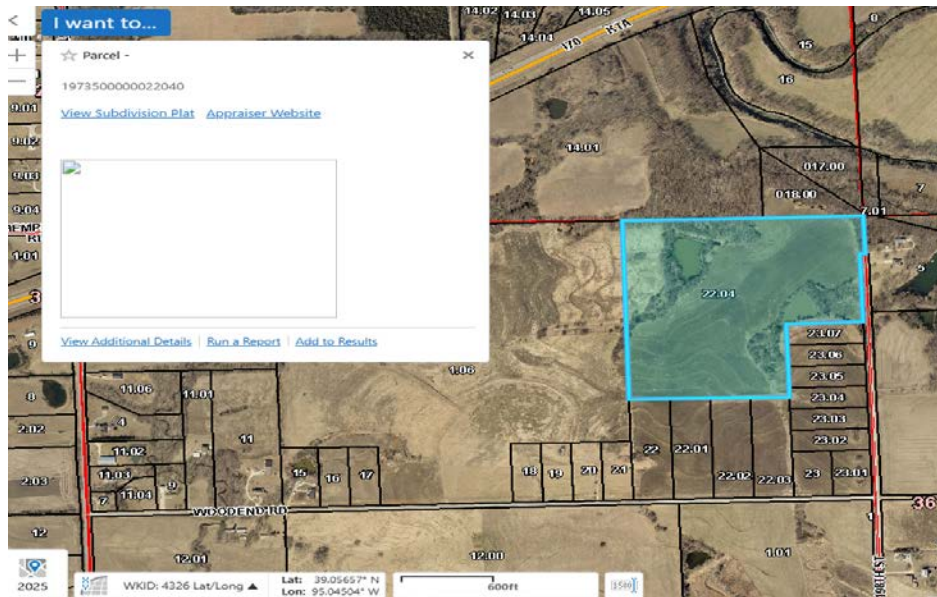
04/23/2026

**Re: Acres of Foxridge A.C.E. East  
Leavenworth County , Kansas**

Dear LVCO PZ:

At your request, Evergy is providing this acknowledgement that the above-mentioned property is within Evergy's service territory and, consequently, Evergy will serve the project consistent with its General Rules and Regulations. This correspondence is not a guarantee of service on any specific timeline. Changes, delays, or additions to the project's design, timeline, and installation may result in delays or additional equipment necessary to ensure service upon completion of the project. Additionally, Evergy is subject to the availability of distribution equipment and any supply chain disruptions may affect Evergy's ability to provide service.

All projects must conform to Evergy's Electrical Service Standards and service is dependent upon a timely application for electrical service and supporting information. Upon submission of updated project information, Evergy will work with you to provide information regarding our timeline for provision of service.



Sincerely,

Tim Brunner  
Contract Designer  
Evergy  
746 E 27<sup>th</sup> St Lawrence, KS  
785-865-4847

## Schweitzer, Joshua

---

**From:** Dedeke, Andrew <adedeke@lvsheriff.org>  
**Sent:** Tuesday, April 21, 2026 9:28 AM  
**To:** Schweitzer, Joshua  
**Subject:** RE: DEV-26-051 Preliminary Plat Acres of Foxridge CAE East - Herring

No concerns.

---

**From:** Schweitzer, Joshua  
**Sent:** Tuesday, April 21, 2026 8:47 AM  
**To:** McAfee, Joe ; Noll, Bill ; 'Mitch Pleak' ; Baumchen, Daniel ; Dedeke, Andrew ; Brown, Misty ; Miller, Jamie ; Dedeke, Andrew ; Magaha, Chuck  
**Cc:** PZ  
**Subject:** DEV-26-051 Preliminary Plat Acres of Foxridge CAE East - Herring

Good Morning,

The Leavenworth County Department of Planning and Zoning has received a request for a Preliminary Plat for 5-lot CAE subdivision located at 197-35-0-00-00-022.04; 197-26-0-00-00-017; 018.

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by May 5, 2026.

If you have any questions or need additional information, please contact me at (913) 684-0465 or at [pzmail@leavenworthcounty.gov](mailto:pzmail@leavenworthcounty.gov)

v / r

Joshua J. Schweitzer  
Planner II  
Leavenworth County Planning & Zoning  
300 Walnut St, Suite 212  
Leavenworth County, Kansas 66048  
(913) 684-0465

***FRAUD ALERT: Our office has been notified of multiple fraudulent emails requesting payment of fees to a non-agency account. All application fees are paid at the time of application and any additional required fees will be requested on official letterhead. Furthermore, the County does not have an online payment option. If you receive an email or letter requesting payment of fees that appears to come from the Leavenworth County Planning & Zoning Department or Planning Commission, please contact our office at 913.684.0465 before making any payments online or by phone. We appreciate your cooperation in this matter.***

### Disclaimer

*This message and any attachments are intended only for the use of the recipient or their authorized representative. The information provided in this email is limited in scope and response detail by available information, current zoning and subdivision regulations. Depending on the level of development, the applicable regulations can change. Final approval cannot be granted until a complete application has been submitted, reviewed*

## Schweitzer, Joshua

---

**From:** Anderson, Kyle  
**Sent:** Tuesday, April 28, 2026 9:20 AM  
**To:** Schweitzer, Joshua  
**Subject:** RE: DEV-26-051 Preliminary Plat Acres of Foxridge CAE East - Herring

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

We have not received any complaints on these properties, and we are not aware of any septic systems currently installed on them.

Kyle Anderson  
Environmental Technician/Code Enforcement  
Leavenworth County Planning & Zoning  
300 Walnut St. Ste. 212  
Leavenworth, KS 66048  
913-684-1084

**FRAUD ALERT:** *Our office has been notified of multiple fraudulent emails requesting payment of fees to a non-agency account. All application fees are paid at the time of application and any additional required fees will be requested on official letterhead. Furthermore, the County does not have an online payment option. If you receive an email or letter requesting payment of fees that appears to come from the Leavenworth County Planning & Zoning Department or Planning Commission, please contact our office at 913.684.0465 before making any payments online or by phone. We appreciate your cooperation in this matter.*

*Disclaimer: This message and any attachments are intended only for the use of the recipient or their authorized representative. The information provided in this email is limited in scope and response detail by available information, current zoning and subdivision regulations. Depending on the level of development, the applicable regulations can change. Final approval cannot be granted until a complete application has been submitted, reviewed and approved by the governing body. Nothing in this message or its contents should be interpreted to authorize or conclude approval by Leavenworth County.*

---

**From:** Schweitzer, Joshua  
**Sent:** Tuesday, April 21, 2026 8:47 AM  
**To:** McAfee, Joe ; Noll, Bill ; 'Mitch Pleak' ; Baumchen, Daniel ; 'adedeke@lvsheriff.org' ; Brown, Misty ; Miller, Jamie ; 'adedeke@lvsheriff.org' ; Magaha, Chuck  
**Cc:** PZ  
**Subject:** DEV-26-051 Preliminary Plat Acres of Foxridge CAE East - Herring

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The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by May 5, 2026.

If you have any questions or need additional information, please contact me at (913) 684-0465 or at [pzmail@leavenworthcounty.gov](mailto:pzmail@leavenworthcounty.gov)

v / r

SUBJECT	ISSUED BY	EFFECTIVE DATE	REVISION
<b>Monuments, Markers and Commemorations Placement</b>	BOCC	2-1-2023	

**STATEMENT:**

From time to time there may be an interest in placing markers on county owned property to commemorate a historically significant event. Any new monuments, markers or commemorations will follow this policy.

**POLICY:**

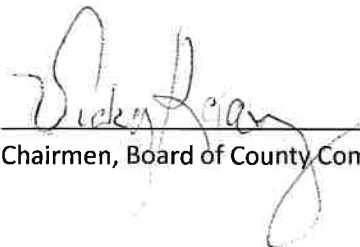
It is the policy of the Board of County Commissioners that any request to place markers on county owned property be done so using an approved application. The application must include a mock up of the proposed marker including the proposed language. Documentation that the information on the plaque/marker is historically accurate. Who will be responsible for paying for the installation and appropriate warranty contact information.

The application must be submitted to the County Clerk’s office by May 1<sup>st</sup> of any year. Applications will be reviewed by the Buildings and Grounds Department and the County Counselor and then forwarded to the review committee. No more than two applications will be approved in a given year.

Only events that occurred on county owned ground will be considered for placement of a marker. Any language on the marker will be limited to historical facts about the event. No markers will be allowed within safe zones in county right of way. Any approved placement of the markers will be located as near as possible to the location the event occurred in an area accessible to the public that will not interfere with county operations.

The review committee will consist of two county commissioners and the county administrator or designee. After reviewing the application and any recommendations and feedback given by staff considered, the committee will notify the applicant in writing of their decision.

If approved the applicant will be required to provide the monument and cost of installation to the Buildings and Grounds Director. The Director will make all necessary arrangements for installation, including final sight selection of the marker.

  
 \_\_\_\_\_  
 Chairmen, Board of County Commissioners

2-1-23  
 \_\_\_\_\_  
 Date of Adoption

# Leavenworth County Request for Board Action

Date: 5/29/2026

To: Board of County Commissioners

From: Public Works

Department Head Approval:

Additional Reviews as needed:

Budget Review  Administrator Review  Legal Review

---

---

**Action Requested:** Requesting approval of the bid pricing for a 5-year lease on one John Deere JD 850 P Dozer for an annual payment of \$67,000.83 per year from Murphy Tractor. This includes fluid, filter plan and extended warranty for life of the lease.

**Recommendation:** Approval

**Analysis:** This is a replacement for our current #14-03- 2021 Cat Large format Dozer that the current lease is ending 10/2026. Murphy Tractor was the low bid and met all bid specs.

**Alternatives:**

**Budgetary Impact:**

- Not Applicable
- Budgeted item with available funds
- Non-Budgeted item with available funds through prioritization
- Non-Budgeted item with additional funds requested

**Total Amount Requested:** 5 annual payments of \$67,000.83.

**Additional Attachments:** None

COUNTY OF LEAVENWORTH  
 One (1) Large Format Dozer  
 Bids opened on 05.14.2026



Item Description	Quantity	Road Builders Kansas City, MO		Foley Equipment Wichita, KS		VLP Equipment Share Kansas City, MO		Central Power Systems Liberty, MO		Murphy Tractor Kansas City, MO	
		Bid Price	Model	Bid Price	Model	Bid Price	Model	Bid Price	Model	Bid Price	Model
Machine Delivered Price	1	\$435,000.00	Komatsu D65WX	\$488,212.00	CAT D6-20	\$523,063.64	CASE 2050M	\$521,850.00	Liebherr PR736	\$402,115.00	JD 850 P-Tier
Cost for extended Manufacture Warranty (5yr/1500hr)		\$7,775.00	included	\$7,957.00		included		included		\$12,250.00	
Preventative Maintance filter & fluid plan for life of lease		\$15,079.00	included	\$7,650.00		included		\$10,000.00		\$2,862.00	
Annual Lease Payment Machine Only		\$96,234.51		\$80,948.42		\$81,497.91		\$87,061.19		\$64,618.29	
Annual Lease Payment with fluid, filter plan & Extended warranty:		\$101,570.83		\$84,380.99		\$81,497.91		\$88,804.58		\$67,000.83	
Leavenworth County Contractor (local preference, percentage difference from lowest bid)											

# Leavenworth County Request for Board Action

Date: 5/29/2026

To: Board of County Commissioners

From: Public Works

Department Head Approval:

Additional Reviews as needed:

Budget Review  Administrator Review  Legal Review

---

---

**Action Requested:** Requesting approval of the bid pricing for a 5-year lease on one Develon DD100 Dozer for an annual payment of \$26,285.09 per year from Central Power Systems & Services. This includes fluid, filter plan and extended warranty for life of the lease.

**Recommendation:** Approval

**Analysis:** This is a replacement for our current #14-02- 2021 Cat Small format Dozer that the current lease is ending 10/2026. Central power Systems was low bid and met all bid specs.

**Alternatives:**

**Budgetary Impact:**

- Not Applicable
- Budgeted item with available funds
- Non-Budgeted item with available funds through prioritization
- Non-Budgeted item with additional funds requested

**Total Amount Requested:** 5 annual payments of \$26,285.09.

**Additional Attachments:** None



# Leavenworth County Request for Board Action

Date: 5/29/2026

To: Board of County Commissioners

From: Public Works

Department Head Approval:

Additional Reviews as needed:

Budget Review  Administrator Review  Legal Review

---

---

**Action Requested:** Requesting consideration for a 5-year lease agreement from Murphy Tractor replacing Two 2020 model year John Deere 672P motor graders with an annual lease payment for \$70,465.58 per grader. The lease will include Preventative maintenance filters, fluids and machine warranty for the life of the lease.

**Recommendation:** Approval

**Analysis:** These are replacements for our current #26 and #231 machines that are depreciating out. Murphy Tractor was low bid as well as meeting all bid specs.

**Alternatives:**

**Budgetary Impact:**

- Not Applicable
- Budgeted item with available funds
- Non-Budgeted item with available funds through prioritization
- Non-Budgeted item with additional funds requested

**Total Amount Requested:** 5 annual payments of \$70,465.58 per machine.

**Additional Attachments:** None



## T-73 – Approach Issues Analysis

T-73 was designed in 1979 and built in 1980. The bridge structure inspection indicates some scour under a headwall from creek erosion or lowering of the flow channel and likely some animal activity. Overall, the bridge is rated good currently. During the construction of the bridge, the creek channel was realigned.

The approach issues most likely stem from several factors. This project, much like some of the projects being completed currently, was a shared project between the county and a construction company splitting construction and grading activities. These types of projects generally don't have the grading control/compaction inspection requirements of fully contracted projects. Another cost savings measure, probably the most significant that impacts the approaches, is the bridge that was removed had concrete approach slabs and the replacement bridge did not. Concrete approach slabs are used to help ensure that settling of the subgrade behind the headwall is not reflected at the surface. Only a small compactor can be used to get proper compaction for a full depth fill up against a new bridge headwall and this was likely not completed. Another issue that is likely is that the dirt used for backfilling came from the site since the creek channel was being moved. Soils found in and along creeks often are nearly impossible to reach compaction for backfilling. I do not see in the table where there is a quantity for contractor furnished fill.

### Corrective Action Choices:

**Ideal:** Hire a contractor to remove the bridge approaches 100' in each direction. Install concrete approaches and achieve proper compaction under the asphalt prior to the concrete approach. This would require a 30–45-day closure and would cost approximately \$100,000. An accurate quantity driven engineer's estimate can be provided if requested.

**Acceptable:** Utilizing County Crews. Saw cut the road and remove the asphalt and base 100' in either direction. Achieve proper compaction with an AB3 base and use the county paver to repave the roadway. This would require a 2-week closure and would cost approximately \$30,000-40,000 in time and materials.

**Poor Choice but would correct the ride quality issues:** Start 125' on one side of the bridge and pave the roadway using the paver over the top of the bridge deck until you smoothly tie in on the other side. This would reduce the lifespan by as much as twenty years. When you pave a bridge deck on a paved roadway the asphalt traps the salt during the winter and will slowly work all the way through the deck. Depending on the deck condition, it can take a single season or many years but eventually you end up with salt crystals hanging off of the concrete underside the bridge. The salt corrodes the rebar in the deck and speed up the bridge's degrading process. Paving a bridge deck is only recommended on gravel roadways that will not be paved during the bridge's lifespan.

Bridge Number: T-73 MAIN STREET  
 Location: 0.3N OF TONGANOXIE  
 Inspected By: Andy Stuewe  
 Date Inspected: 4-Apr-24  
 Structure No : 000521061204205

# 2024 Bridge Inspections



## Main St. over Tonganoxie Cr.

### Overall Structure Condition & Rating

LVCO Condition Rating = **Good**

SI&A Rating = **85.5%**

Structurally Deficient= **Not Deficient**

Federal Funding Status = **Not Currently Eligible**

Current Load Posting = **NA**



### Condition Rating Color Code Key

SI&A Rating: (100 to 80) (80 to 60) (60 to 40) (40 to 1) (0)

LVCO Rating: = Good = Fair = Poor = Replace = Closed

Inspection Day Information:	
Temperature =	54 - Degrees Fahrenheit
Weather Condition =	Sunny/Clear

### General Notes & Comments (From Inspection)

- Deck-** Deck top has moderate wear with exposed aggregate worn smooth. Many hairline transverse and few hairline longitudinal cracks. Chain drag reveals delamination at north EWS repair. Longitudinal gouges at both EWS's. North end of slab has been sawcut and repaired.
- Superstructure-** Both slab face repairs have horizontal cracks with efflorescence. Deck bottom edge repairs have hairline transverse and a few hairline longitudinal cracks, some with efflorescence. Interior deck bottom has hairline transverse cracks in areas of positive moment, few fine hairline longitudinal cracks near centerline.
- Substructure-** Abutments have piers have minor hairline cracks. North pier has minor hairline cracking on south face of hammerhead. East end of north pier has minor area of delamination. Both abutments have minor isolated areas of undermining, appear to be animal burrows, north abutment 1 exposed steel H-pile. North pier has 12' of differential earth pressure.
- Channel-** Flow West to East. Channel meanders up and downstream, straight through bridge. Rock and mud bottom. Tree and brush lined with heavy drift caught in east downstream channel, moderate drift on west upstream banks.
- Misc.-** No load postings. Approach roadway is asphalt. OM3 hazard signs on all four corners. Concrete rail on bridge and guardrail on approach corners.
- Recommendations-**

## Structure Inventory & Appraisal (English)

(8) STRUCTURE NO **000521061204205** (1) STATE **20 Kansas** (4) CITY **Rural** (3) COUNTY **Leavenworth**  
 LPA Bridge ID **T-73** LPA Bridge Name \_\_\_\_\_ (5A) ROUTE ON/UNDER **Route On Structure**  
 HBP FUNDING ELIGIBILITY **Not Eligible**

IDENTIFICATION	
(5B) ROUTE TYPE	4 County Hwy
(5C) SERVICE TYPE	1 Mainline
(5D) ROUTE NUMBER	05203
(5E) SUFFIX	0 N/A (NBI)
(6A) FEATURE INTERSECTED	TONGANOXIE CREEK
(9) LOCATION	0.3N OF TONGANOXIE
(16) LATITUDE	39 ° 07 ' 10.09 "
(17) LONGITUDE	95 ° 05 ' 02.91 "
(2) HIGHWAY AGENCY DISTRICT	District 01 - Topeka
(98A) BORDER BRIDGE STATE	
(98B) BORDER BRIDGE RESPONSIBILITY	%
(99) BORDER BRIDGE STRUCTURE NO.	-
(7) (ROUTE NAME) FACILITY CARRIED	T-73 MAIN STREET

FUNCTIONAL DESCRIPTION	
(26) FUNCTIONAL CLASSIFICATION	08 Rural min Collector
(104) NHS DESIGNATION	0 Not on NHS
(100) STRAHNET DESIGNATION	0 Not a STRAHNET hwy
(110) NATIONAL TRUCK NET	0 Not part of natl netwo
(12) BASE HIGHWAY NET	Not on Base Network
(13A) LRS INVENTORY ROUTE	(13B) LRS SUBRTE #
(11) LRS MILE POINT	0.000 MI
(105) FEDERAL LANDS HIGHWAY	0 N/A (NBI)
(20) TOLL	3 On free road
(21) MAINTAINANCE RESPONSIBILITY	02 County Hwy Agency
(22) OWNER	02 County Hwy Agency
(37) HISTORICAL SIGNIFICANCE	5 Not eligible for NRHP
(101) PARALLEL STRUCTURE	No    bridge exists
(103) TEMPORARY STRUCTURE	

AGE AND SERVICE	
(29) AVERAGE DAILY TRAFFIC	989
(109) AVERAGE DAILY TRUCK TRAFFIC	12 %
(30) YEAR OF ADT	2024
(27) YEAR BUILT	1980
(106) YEAR REHABILITATED	
(102) ONE WAY OR TWO WAY TRAFFIC	2 2-way traffic
(42A) SERVICE ON THE BRIDGE	1 Highway
(42B) SERVICE UNDER THE BRIDGE	5 Waterway
(28A) LANES ON ROUTE	2
(28B) LANES UNDER ROUTE	0
(19) BYPASS DETOUR LENGTH	3.1 MI

POSTING	
(41) POSTING STATUS	A Open, no restriction
JUSTIFICATION	N/A
TYPE	N/A
STATUS	N/A
R12-1	Grs Wt: N/A
R12-5	Sgl Unit: N/A 2-Unit: N/A 3-Unit: N/A
EMERGENCY VEH	Sgl Axle: N/A Tdm Axle: N/A EV Gross Wt: N/A

LOAD RATING	
(66) INVENTORY LOAD (tons) or RATING FACTOR (RF)	32.0 tons
(64) MAXIMUM LOAD (tons) or RATING FACTOR (RF)	54.3 tons
(31) DESIGN LOAD	4 M 18 (H 20)
(65) INVENTORY LOAD RATING METHOD	1 LF Load Factor (tons)
(63) OPERATING (MAX) LOAD RATING METHOD	1 LF Load Factor (tons)
(70) POSTING REQUIREMENTS	5 At/Above Legal Loads

SCHEDULE	
(90) ROUTINE INSPECTION DATE	04/04/2024
(91) ROUTINE INSPECTION FREQUENCY	24 MO
(92) CRITICAL FEATURE INSPECTION:	(93) INSP DATE
A) FRACTURE CRITICAL	N MO A)
B) UNDERWATER INSP	N MO B)
C) SPECIAL INSP	N MO C)

GEOMETRIC DATA	
(112) NBIS BRIDGE DEFINITION	Long Enough
(49) STRUCTURE LENGTH	102.5 FT
(48) MAXIMUM SPAN LENGTH	39.8 FT
(32) ROUTE WIDTH	26.5 FT
(51) BRIDGE ROADWAY WIDTH, CURB TO CURB	26.0 FT
(52) DECK WIDTH OUT TO OUT	28.0 FT
(50A) LEFT CURB OR SIDEWAY WIDTH	0.0 FT
(50B) RIGHT CURB OR SIDEWAY WIDTH	0.0 FT
(34) SKEW	0.0 °
(47) ROUTE HORIZONTAL CLEARANCE	26.0 FT
(10) MIN VERT CLEARANCE OVER ROUTE	99.99 FT
(53) MIN VERT CLEARANCE OVER BRIDGE	99.99 FT
(33) MEDIAN	0 No median
(35) STRUCTURE FLARED	0 No flare
(54A) MIN VERT UNDERCLEARANCE REF	N Feature not hwy or RR
(54B) MIN VERT UNDERCLEARANCE	0.00 FT
(55A) MIN LATERAL UNDERCLEAR REF RT	N Feature not hwy or RR
(55B) MIN LATERAL UNDERCLEAR RT	0.0 FT
(56) MIN LATERAL UNDERCLEARANCE LEFT	0.0 FT

STRUCTURE AND MATERIALS	
(45) NUMBER OF MAIN SPANS	3
(43B) MAIN SPAN DESIGN TYPE	01-Slab
(43A) MAIN SPAN MATERIAL TYPE	2 Concrete Continuous
KDOT MAIN SPAN MATERIAL TYPE:	
(107) DECK TYPE	2 - 01 : RCSH
(108A) DECK SURFACE	1 Concrete-Cast-in-Place 1 Monolithic Concrete
(108B) MEMBRANE	8 Unknown
(108C) DECK PROTECTION	8 Unknown
(46) NUMBER OF APPROACH SPANS	0
(44B) APPROACH SPAN DESIGN TYPE	Unknown (P)
(44A) APPROACH SPAN MATERIAL TYPE	Unknown (NBI)
KDOT APPROACH SPAN MATERIAL TYPE:	

CONDITION	
(58) DECK CONDITION RATING	7
(59) SUPERSTRUCTURE CONDITION	7
(60) SUBSTRUCTURE CONDITION	7
(62) CULVERT CONDITION	N
(61) STREAM STABILITY / CHANNEL	6
NBI BRIDGE CONDITION (G/F/P)	Good

APPRAISAL	
DEFICIENCY STATUS	Not Deficient
(72) BRIDGE ROUTE ALIGNMENT	8
(71) WATERWAY ADEQUACY	7
(113) SCOUR VULNERABILITY	5
(67) STRUCTURAL EVALUATION	7
(68) DECK WIDTH APPRAISAL	5
(69) HORIZ. UNDERCLEARANCE APPRAISAL	N
SUFFICIENCY RATING	85.50
(36A) BRIDGE RAILS	1
(36B) RAIL TRANSITIONS	1
(36C) APPROACH GUARDRAILS	1
(36D) APPROACH GUARDRAIL ENDS	1

NAVIGATION DATA	
(38) NAVIGABLE WATERWAY	Permit Not Required
(39) NAVIGATION VERTICAL CLEARANCE	FT
(40) NAVIGATION HORIZONTAL CLEARANCE	FT
(111) SUBSTRUCTURE NAV PROTECTION	Unknown (NBI)
(116) MIN NAV VERT CLEAR VERT LIFT BRIDGE	FT

PROPOSED IMPROVEMENTS	
(75A) TYPE OF WORK	Not Applicable (P)
(75B) WORK BY	Unknown (NBI)
(76) IMPROVEMENT LENGTH	FT
(94) BRIDGE COST	
(95) ROADWAY COST	
(96) TOTAL COST	
(97) COST ESTIMATE YEAR	
(114) FUTURE ADT	1,038
(115) FUTURE ADT YEAR	2042



# Kansas Local Bridge Inspection Form

(8) STRUCTURE NO	000521061204205	(1) STATE	20 Kansas	(4) CITY	Rural	(3) COUNTY	Leavenworth
LPA Bridge ID	T-73	(5A) ROUTE ON/UNDER	Route On Structure	HBP FUNDING ELIGIBILITY	Not Eligible		

### IDENTIFICATION

(5B) ROUTE TYPE	4 County Hwy	
(5C) SERVICE TYPE	1 Mainline	
(5D) ROUTE NUMBER	05203	(5E) SUFFIX
		0 N/A
(6A) FEATURE INTERSECTED	TONGANOXIE CREEK	
(9) LOCATION	0.3N OF TONGANOXIE	
(16) LATITUDE	39 ° 07 ' 10.09 "	
(17) LONGITUDE	95 ° 05 ' 02.91 "	
(2) HIGHWAY AGENCY DISTRICT	Topeka	
(98A) BORDER BRIDGE STATE	Not Applicable	
(98B) BORDER BRIDGE RESPONSIBILITY		
(99) BORDER BRIDGE STRUCTURE NO.		
(7) (ROUTE NAME) FACILITY CARRIED	T-73 MAIN STREET	

### FUNCTIONAL

(26) FUNCTIONAL CLASSIFICATION	08 Rural min Collector	
(104) NHS DESIGNATION	0 Not on NHS	
(100) STRAHNET DESIGNATION	0 Not a STRAHNET Hwy	
(110) NATIONAL TRUCK NET	0 Not part of natl network	
(12) BASE HIGHWAY NET	Not on Base Network	
(13A) LRS INVENTORY ROUTE		(13B) LRS SUBRTE #
(11) LRS MILE POINT	0.000	
(105) FEDERAL LANDS HIGHWAY	0 N/A	
(20) TOLL	3 Rdwy Agreement	
(21) MAINTENANCE RESPONSIBILITY	County Hwy Agency	
(22) OWNER	County Hwy Agency	
(37) HISTORICAL SIGNIFICANCE	Not eligible for NRHP	
(101) PARALLEL STRUCTURE	No    bridge exists	
(103) TEMPORARY STRUCTURE	No	

### AGE

(29) AVERAGE DAILY TRAFFIC	989	
(109) AVERAGE DAILY TRUCK TRAFFIC	12 %	
(30) YEAR OF ADT	<del>2022</del> <sup>ok</sup> 2024	
(27) YEAR BUILT	1980	
(106) YEAR REHABILITATED		
(102) ONE WAY OR TWO WAY TRAFFIC	2-way traffic	
(42A) SERVICE ON THE BRIDGE	1 Highway	
(42B) SERVICE UNDER THE BRIDGE	5 Waterway	
(28A) LANES ON ROUTE	2	
(28B) LANES UNDER ROUTE	0	
(19) BYPASS DETOUR LENGTH	3.1 MI	

### POSTINGS

(41) POSTING STATUS	A Open, no restriction	
JUSTIFICATION	N/A	
POSTING TYPE	N/A	
POSTING STATUS	N/A	
R12-1	Grs Wt	N/A
R12-5	Sgl Unit	N/A
	2-unit	N/A
	3-unit	N/A
EMERGENCY VEHICLES	Sgl Axle	N/A
	Tdm Axle	N/A
	Grs Wt	N/A

### RATING

(66) INVENTORY LOAD (tons) or RATING FACTOR (RF)	32.0 tons	
(64) MAXIMUM LOAD (tons) or RATING FACTOR (RF)	54.3 tons	
(31) DESIGN LOAD	4 M 18 (H 20)	
(65) INVENTORY LOAD RATING METHOD	1 LF Load Factor	
(63) OPERATING (MAX) LOAD RATING METHOD	1 LF Load Factor	
(70) POSTING REQUIREMENTS	5 At/Above Legal Loads	
(41) POSTING STATUS	A Open, no restriction	

### SCHEDULE

(90) ROUTINE INSPECTION DATE	<del>03/16/2022</del> 4/4/2024	
(91) ROUTINE INSPECTION FREQUENCY	24 MO	
(92) CRITICAL FEATURE INSPECTION:		(93) INSP DATE
A) FRACTURE CRITICAL	N	MO
B) UNDERWATER INSP	N	MO
C) SPECIAL INSP	N	MO



# Kansas Local Bridge Inspection Form

(8) STRUCTURE NO	000521061204205	(1) STATE	20 Kansas	(4) CITY	Rural	(3) COUNTY	Leavenworth
LPA Bridge ID	T-73	(5A) ROUTE ON/UNDER	Route On Structure	HBP FUNDING ELIGIBILITY	Not Eligible		

### PROPOSED IMPROVEMENTS

(75A) TYPE OF WORK	Not Applicable	_____
(75B) WORK BY		_____
(76) IMPROVEMENT LENGTH		_____
(94) BRIDGE COST		_____
(95) ROADWAY COST		_____
(96) TOTAL COST		_____
(97) COST ESTIMATE YEAR		_____
(114) FUTURE ADT	1038	_____
(115) FUTURE ADT YEAR	2042	_____

### GEOMETRIC DATA

(112) NBIS BRIDGE DEFINITION	Long Enough	_____
(49) STRUCTURE LENGTH	102.5 FT	_____
(48) MAXIMUM SPAN LENGTH	39.8 FT	_____
(32) ROUTE WIDTH	26.5 FT	_____
(51) BRIDGE ROADWAY WIDTH, CURB TO CURB	26.0 FT	_____
(52) DECK WIDTH OUT TO OUT	28.0 FT	_____
(50A) LEFT CURB OR SIDEWAY WIDTH	0.0 FT	_____
(50B) RIGHT CURB OR SIDEWAY WIDTH	0.0 FT	_____
(34) SKEW		_____
(47) ROUTE HORIZONTAL CLEARANCE	26.00 FT	_____
(10) MIN VERT CLEARANCE OVER ROUTE	99.99 FT	_____
(53) MIN VERT CLEARANCE OVER BRIDGE	99.99 FT	_____
(33) MEDIAN	No Median	_____
(35) STRUCTURE FLARED	No flare	_____
(54A) MIN VERT UNDERCLEARANCE REF	Feature not hwy or RR	_____
(54B) MIN VERT UNDERCLEARANCE	0.00 FT	_____
(55A) MIN LATERAL UNDERCLEAR REF RT	Feature not hwy or RR	_____
(55B) MIN LATERAL UNDERCLEAR RT	0.0 FT	_____
(56) MIN LATERAL UNDERCLEARANCE LEFT	0.0 FT	_____

### STRUCTURE TYPE

(45) NUMBER OF MAIN SPANS	3	_____
(43B) MAIN SPAN DESIGN TYPE	Slab	_____
(43A) MAIN SPAN MATERIAL TYPE	Concrete Continuous	_____
KDOT Type Code - Main:	1024	RCSH
(46) NUMBER OF APPROACH SPANS	0	_____
(44B) APPROACH SPAN DESIGN TYPE		_____
(44A) APPROACH SPAN MATERIAL TYPE		_____
KDOT Type Code - Appr:	-1	None/UNK/NULL
(107) DECK TYPE	Concrete-Cast-in-Place	_____
(108A) DECK SURFACE	1 Monolithic Concrete	_____
(108B) MEMBRANE	8 Unknown	_____
(108C) DECK PROTECTION	8 Unknown	_____

### CONDITION

(58) DECK CONDITION RATING	7	_____
(59) SUPERSTRUCTURE CONDITION	7	_____
(60) SUBSTRUCTURE CONDITION	7	_____
(62) CULVERT CONDITION	N	_____
(61) STREAM STABILITY / CHANNEL	6	_____

### APPRAISAL

(72) BRIDGE ROUTE ALIGNMENT	8	_____
(71) WATERWAY ADEQUACY	7	_____
(36A) BRIDGE RAILS	1	_____
(36B) RAIL TRANSITIONS	1	_____
(36C) APPROACH GUARDRAILS	1	_____
(36D) APPROACH GUARDRAIL ENDS	1	_____
(113) SCOUR VULNERABILITY	5	_____
(67) STRUCTURAL EVALUATION	7	_____
(68) DECK WIDTH APPRAISAL	5	_____
(69) HORIZ. UNDERCLEARANCE APPRAISAL	N	_____
SUFFICIENCY RATING	85.50	
DEFICIENCY STATUS	Not Deficient	



# Kansas Local Bridge Inspection Form

(8) STRUCTURE NO	000921081204205	(1) STATE	20, Kansas	(4) CITY	Rural	(3) COUNTY	Leavenworth
LPA Bridge ID	T-73	(5) ROUTE ON/UNDER	Route On Structure		HBP FUNDING ELIGIBILITY	Not Eligible	

### NOTES

Deck: 7

Deck top has moderate wear with exposed aggregate worn smooth.  
 Many hairline transverse and few hairline longitudinal cracks.  
 Chain drag reveals ~~no~~ delamination @ N. EWS repair  
 Longitudinal gouges at both EWS's.  
 North end of slab has been sawcut and repaired.

Superstructure: 7

Both slab face repairs have horizontal cracks with efflorescence. ✓  
 Deck bottom edge repairs have hairline transverse and a few hairline longitudinal cracks, some with efflorescence. ✓  
 Interior deck bottom has hairline transverse cracks in areas of positive moment, few fine hairline longitudinal cracks near centerline. ✓

Substructure: 7

Abutments have piers have minor hairline cracks.  
 North pier has minor hairline map cracking on south face of hammerhead.  
 East end of north pier has minor area of delamination. ✓  
 Both abutments have minor isolated areas of undermining, appear to be animal burrows, no exposed piles. ✓  
 North pier ⇒ 12' of differential earth pressure. ✓  
 N. Abut. steel H-pile

Waterway: 6

Flow West to East. ✓  
 Water 15" deep under bridge. 9"  
 Channel meanders up and downstream, straight through bridge. ✓  
 Rock and mud bottom. ✓  
 Tree and brush lined with heavy drift caught in east downstream channel, moderate drift on west upstream banks. ✓

Culvert: N

NA

### Bridge Notes:

- ① LS rdwy 710
- ② LW (us) 711
- ③ LE (os) 712
- ④ LE prof 713
- ⑤ LS under center span 714
- ⑥ N. pier, east end spall below cap 715
- ⑦ N. Abut. undermined 716
- ⑧ Edge of deck repair 717

Inspector's Signature	Date
Andrew S. Stuewe	4/4/2024
Team Leader's Signature	Date

Andrew S. Stuewe



# 2024 Bridge Inspection

NBI BRIDGE NO.: 000521061204205  
LEAVENWORTH CO BR NO: T-73  
INSPECTED BY: Andy Stuewe  
DATE INSPECTED: 4-Apr-24



ROADWAY LOOKING SOUTH



CHANNEL LOOKING WEST (UPSTREAM)



CHANNEL LOOKING EAST (DOWNSTREAM)



PROFILE LOOKING EAST



# 2024 Bridge Inspection

NBI BRIDGE NO.: 000521061204205  
LEAVENWORTH CO BR NO: T-73  
INSPECTED BY: Andy Stuewe  
DATE INSPECTED: 4-Apr-24



LOOKING SOUTH UNDER CENTER SPAN



NORTH PIER, EAST END SPALL BELOW CAP



NORTH ABUTMENT UNDERMINED



EDGE OF DECK REPAIR (TYPICAL BOTH SIDES)

Ref. P.O.T. Sta. 586+00  
 1. 1/2" rebar @ P.O.T.  
 2. Top of mail box post 22.8' ESE  
 3. Spk in pow. pole 38.8' NE  
 4. Spk in top fc. post 38.8' SE

Ref. P.O.T. Sta. 597+00  
 1. 1/2" rebar @ P.O.T.  
 2. Spk & wshtr in top fc. post 27.9' ESE  
 3. Spk & wshtr in top fc. post 21.49' E  
 4. Spk & wshtr in top fc. post 34.0' NE

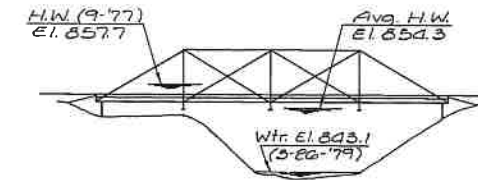
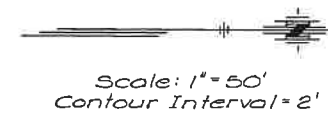
F.H.W.A. REGION NO.	STATE	PROJECT NO.	FISCAL YEAR	SHEET NO.	TOTAL SHEETS
7	KANSAS	52-SOS-1061(3)	1979	8	21

SEC. 4, T-II-S, R-21-E

Wilson R. Myers Sr. & Frances K. Myers, hus. & wife; Wilson R. Myers Jr. & Mary Ellen Myers, hus. & wife  
 S.E. 1/4, S.W. 1/4

Richard W. Fatherly & Judith R. Fatherly, husband & wife  
 Tract in W. 1/2

Sta. 591+30 Const.  
 30'-40'-30' Cont. R.C.  
 Haunched Slab Spans @ 26'-0" Roadway



SKETCH OF EXISTING STRUCTURE

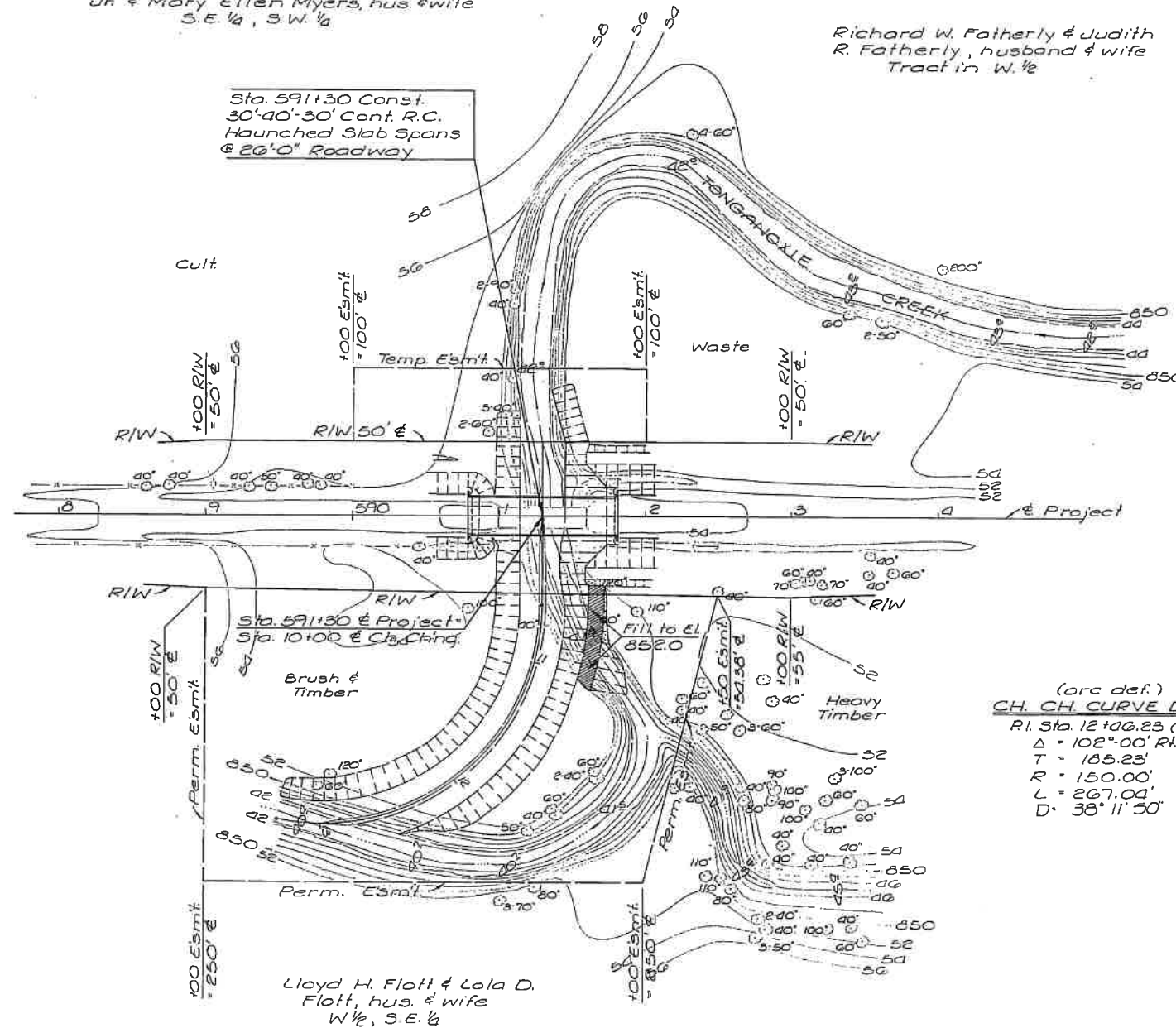
Scale: 1" = 15'

60' Steel Truss Span @ Conc. Abutments & Wingwalls, 14' Conc. Roadway. Exist. Opening = 442 sq. ft., Drainage Area = 13.8 sq. mi.

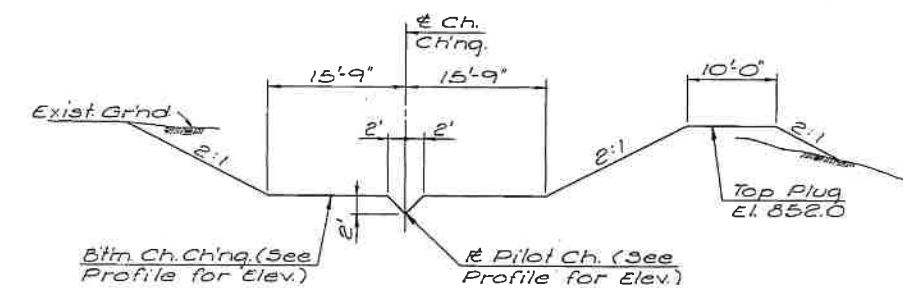
NOTES

Leavenworth County will remove the existing structure (60' Steel Truss Span @ Conc. Abutments & Wingwalls, 14' Conc. Roadway) excavate the channel improvement and complete the embankments in the vicinity of the new bridge, prior to its construction. The existing structure shall remain the property of the Leavenworth County and shall be removed from the site.

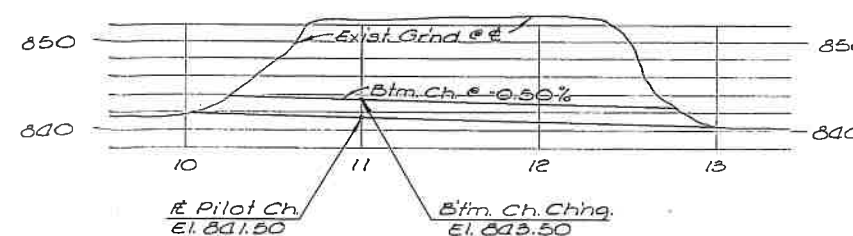
The bridge contractor shall furnish only 250 Lin. Ft. Steel Plate Guard Fence (galv.). Leavenworth County forces & funds will install 62.5 Lin. Ft. @ each quad. of the new bridge.



(Arc def.)  
 CH. CH. CURVE DATA  
 P.I. Sta. 12+46.23 (b.k.)  
 $\Delta = 102^\circ 00' R$   
 $T = 185.23'$   
 $R = 150.00'$   
 $L = 267.04'$   
 $D = 38^\circ 11' 30''$



SECTION THRU CHANNEL CHANGE



PROFILE OF CHANNEL CHANGE

SEC. 4, T-II-S, R-21-E

Lloyd H. Flott & Lola D. Flott, hus. & wife  
 W. 1/2, S.E. 1/4

PROJ. NO. 52-SOS-1061(3)  
**CONTOUR MAP**  
 BRIDGE OVER TONGANOXIE CREEK  
 STA. 591+30 LEAVENWORTH COUNTY

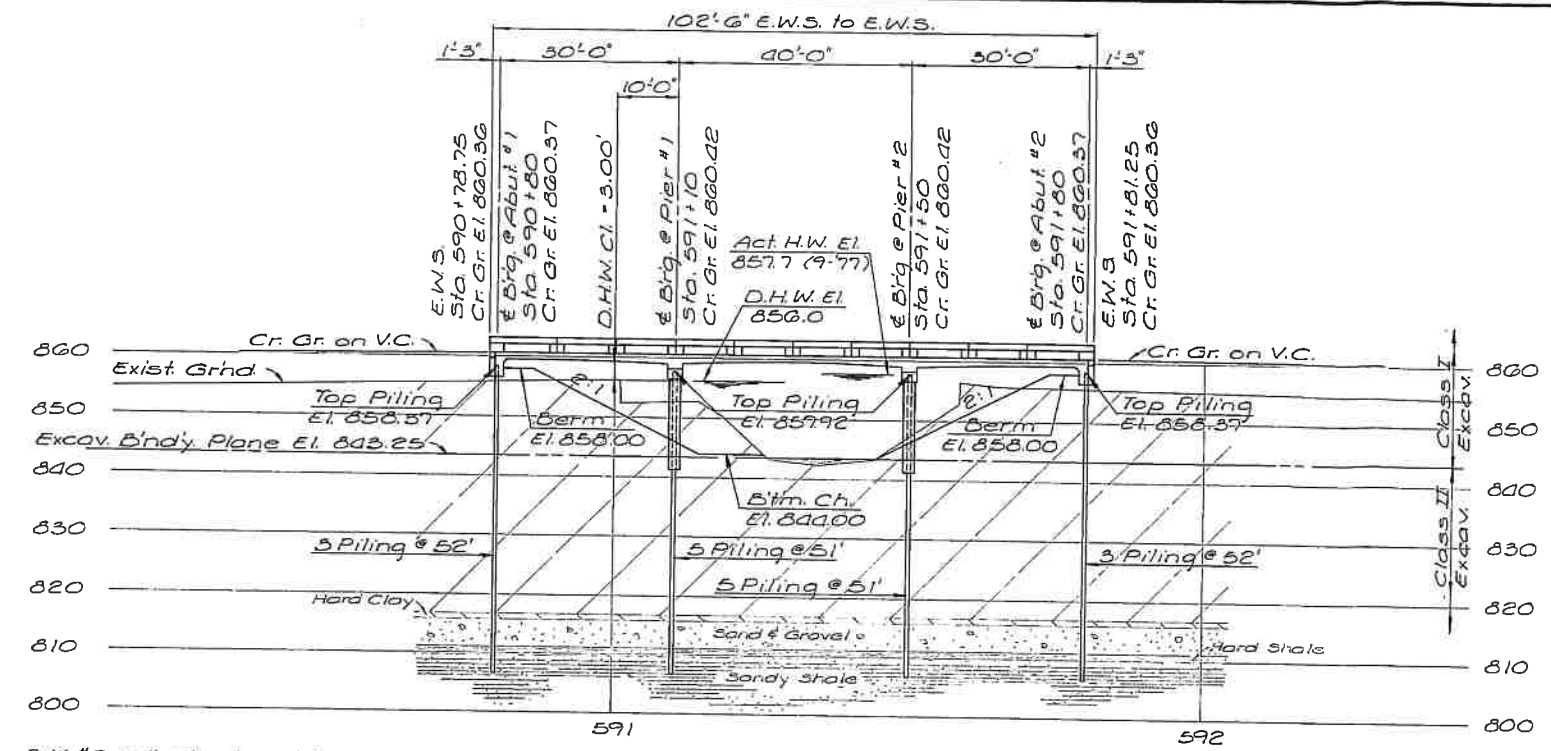
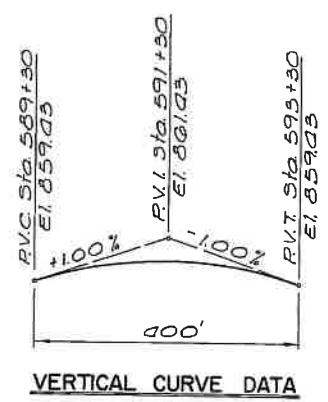
DESIGNED K.E.S.	SCALE noted
DETAILED T.R.G.	DATE
QUANTITIES T.R.G.	SHEET 1 of 6

COOK, FLATT & STROBEL  
 ENGINEERS, P.A.  
 Topeka, Kansas

F.H.W.A. REGION NO.	STATE	PROJECT NO.	FISCAL YEAR	SHEET NO.	TOTAL SHEETS
7	KANSAS	52-305-1061(3)	1979	5	21

**GENERAL NOTES**

- DESIGN LOADING:** H20-44, AASHTO STANDARD SPECIFICATIONS, 1977 EDITION.
- UNIT STRESSES:** CONCRETE, CLASS AAA  $F_c = 4,000$  psi,  $f_c = 1,600$  psi  
REINFORCING STEEL  $F_s = 20,000$  psi
- CHANNEL CHANGE AND EXCAVATION:** LEAVENWORTH COUNTY SHALL EXCAVATE THE CHANNEL AND COMPLETE THE EMBANKMENT AT THE BRIDGE SITE TO THE LIMITS SHOWN PRIOR TO THE CONSTRUCTION OF THE NEW BRIDGE.
- BRIDGE EXCAVATION:** ELEVATION 843.25 SHALL DESIGNATE THE EXCAVATION BOUNDARY PLANE OF CLASS I AND CLASS II EXCAVATION; CLASS I ABOVE THE PLANE, CLASS II BELOW. SEE BRIDGE EXCAVATION SHEET FOR LIMITS OF PAY EXCAVATION.
- SOUNDINGS:** SOUNDINGS SHOWN ON THESE PLANS WERE FURNISHED BY LEAVENWORTH COUNTY AND REPRESENT THE BEST INFORMATION AVAILABLE TO LEAVENWORTH COUNTY.
- PILES:** ALL PILES SHALL BE DRIVEN TO A PENETRATION INTO SHALE UNLESS IN THE OPINION OF THE ENGINEER SUCH PENETRATION CANNOT BE OBTAINED WITHOUT INJURY TO THE PILES. PILES SHALL BE DRIVEN TO A MINIMUM COMPUTED BEARING VALUE AS FOLLOWS:  
 ABUTMENTS - 31.9 TONS PER PILE  
 PIERS - 48.0 TONS PER PILE



**ELEVATION**  
 30'-40'-30' Cont. RC. Haunched Slab Spans @ Pile Bent Abutments & Piers  
 26'-0' Roadway

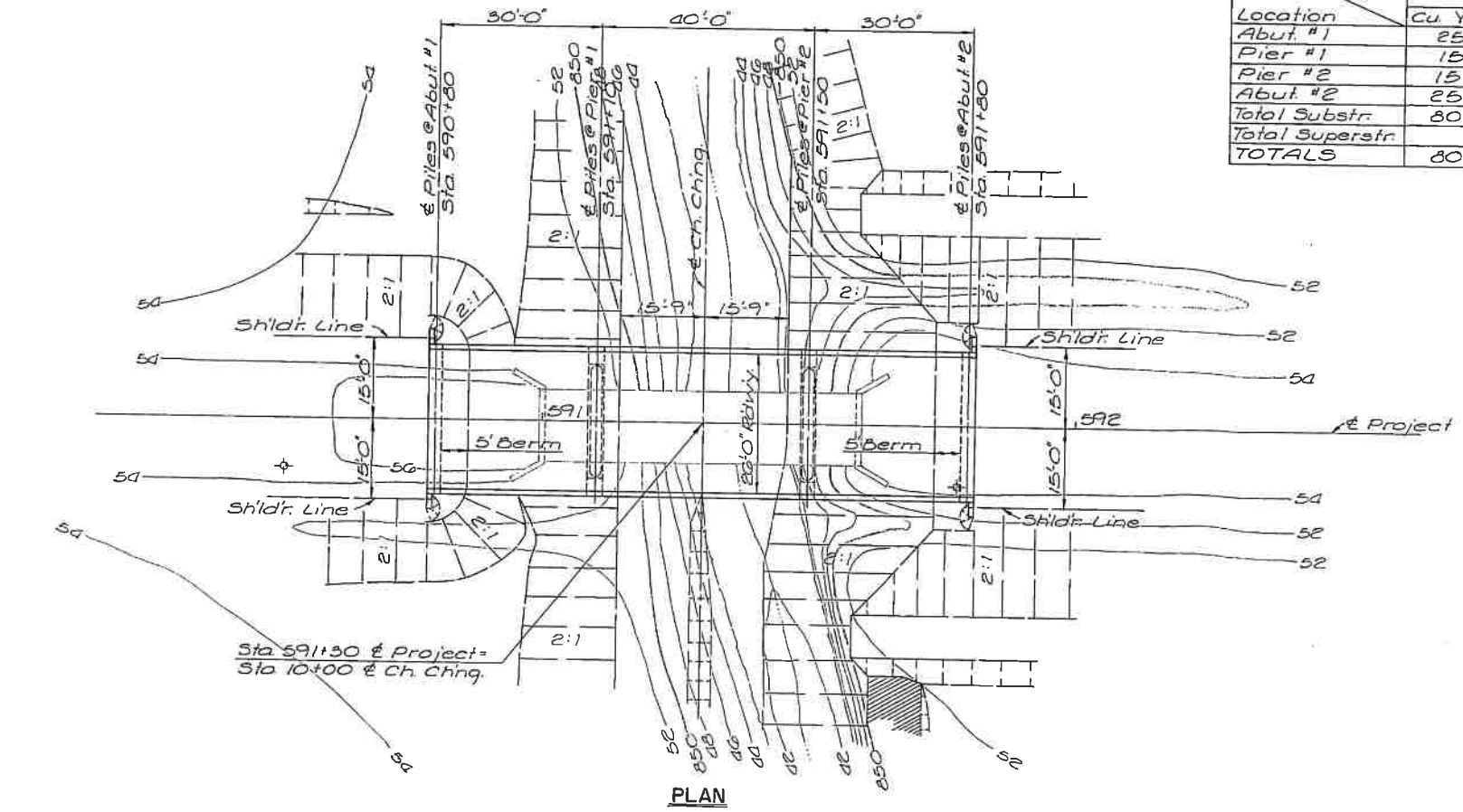
B.M. #2 - split step in 60' tree, 60' Lt. & Sta. 590+90 El. 854.60

B.M. #3 - split step in S. side 100' tree, 110' Rt. & Sta. 599+25 El. 857.92

Item	EXCAVATION					FURNISH ONLY						
	Class I	Class II	Conc. Cl. AAA	Reinf. Steel	Steel # Piles	Unsd. Oil Str. Tr't. (Bridge)	Field Off. & Lab. (Type C)	Confr. Constr'n Staking	Mobilization	Steel R. Gd. Fc. (galv.)	Type II Object Markers	Type III Object Markers
Location	Cu. Yds.	Cu. Yds.	Cu. Yds.	Lbs.	Lin. Ft.	Sq. Yds.	Each	L.S.	L.S.	Lin. Ft.	Each	Each
Abut. #1	25				150							
Pier #1	15	9	22.3	885	255							
Pier #2	15	9	22.3	885	255							
Abut. #2	25				150							
Total Substr.	80	18	44.6	1,770	822							
Total Superstr.			101.0	42,910		296						
<b>TOTALS</b>	<b>80</b>	<b>18</b>	<b>206.2</b>	<b>44,680</b>	<b>822</b>	<b>296</b>	<b>1</b>	<b>L.S.</b>	<b>L.S.</b>	<b>250</b>	<b>4</b>	<b>4</b>

\* Includes: 6 @ 52' & 10 @ 51'

\* Note: Only Steel Piles HPI0X12 shall be used on this structure.



**DRAINAGE DATA**

Drainage Area	13.8 Sq. Mi.
Waterway Required Talbot (C=0.71)	647 Sq. Ft.
Waterway Provided Below D.H.W. El. 856.0	647 Sq. Ft.
Total Below Structure	895 Sq. Ft.
Estimated Discharge	3,882 c.f.s.
Estimated Frequency	25+ Year



PROJ. NO. 52-305-1061(3)  
**CONSTRUCTION LAYOUT**  
 BRIDGE OVER TONGANOXIE CREEK  
 STA. 591+30 LEAVENWORTH COUNTY

COOK, FLATT & STROBEL ENGINEERS, P.A. Topeka, Kansas

DESIGNED K.E.S. SCALE noted  
 DETAILED T.R.G. DATE  
 QUANTITIES T.R.G. SHEET 2 OF 6

Bridges by year of original construction

Name	Structure	Height	Length	Bridge Width	Condition Rating	Old. Suff. Rating	Load Posting	Type_	Approach	Waterway	YearBuilt	Lanes	Cells	Roadway
A-27	Single Span Steel Girder Cast-in-Place Abutments	N/A	24.9	19.4	G-Good	55.4	9 Tons	Bridges less than 20'	Gravel	Unknown	1913	1	1	235th Street
H-10	Steel Beam	20.0'	22.0'	20'	G-Good	89.8	12 Tons	Bridges	Gravel	Rock Creek	1920	1	1	Stranger Road
R-62	Single Span Steel Girder Concrete Abutment	22.0'	28.0'	22.0'	F - Fair	84.9	13 Tons	Bridges	Dirt/Gravel	Trib. to Kansas River	1920	2	1	Golden Road
SH-3	Single Span Steel Girder Concrete Abutments	19.1'	26.0'	19.1'	F - Fair	69.1	13 Tons	Bridges	Gravel	Trib. to Stranger Creek	1920	2	1	Woodend Road
T-31	Single Span Steel Girder Cast-in-Place Abutments	20.5'	28.0'	20.5	F - Fair	57.1	10 Tons	Bridges	Gravel/Dirt	Trib. to Jarbalo Creek	1920	2	1	Fairmount Road
T-90	Single Span Reinforced Concrete Deck Girder (3)	15.3'	24.5'	15.3'	F - Fair	71.4	15 Tons	Bridges	Asphalt	Jarbalo Creek	1920	2	1	Kissinging Road
SH-33	Single Span Steel Girder Concrete Abutments	17.5'	22.0'	17.5'	F - Fair	81.7	11 Tons	Bridges	Gravel	Trib. to Little Kaw Creek	1925	2	1	166th Street
A-7	Single Span Steel Girder Cast-in-Place Abutments	16'	21.5'	16.0'	F - Fair	70.1	11 Tons	Bridges	Gravel	Trib to Stranger Creek	1930	1	1	Lecompton Road
E-5	Single Span Steel Girder Cast-in-Place Abutments	16.0'	32.0'	16.0'	F - Fair	82.6	18 Tons	Bridges	Gravel	Trib. to Stranger Creek	1930			227th Street
E-8	Single Span Steel Girder Cast-in-Place Abutments	13.5'	32.0'	13.5'	G-Good	58.6	15 Tons	Bridges	Dirt	Stranger Creek	1930	1		Edwards Dr.
H-51	Reinforced Concrete Arch Bridge	13.5'	39.5'	13.5'	F - Fair	53.4	None	Bridges	Gravel	Trib to Little Stranger	1930	Unknown	1	Jamison Road
K-3	2 Span Steel Girder, Limestone Abutment, Timber Pi	16.5'	57.0'	16.5'	F - Fair	56.3	12 Tons	Bridges	Gravel	Plum Creek	1932	2	1	Knapp Drive
E-7	Single Span Reinforced Concrete Deck Girder (3)	15.0'	36.0'	15.0'	F - Fair	70.2	15 Tons	Bridges	Gravel	Stranger Creek	1935			227th Street
H-12	1 Span 20.5' Roadway Width	27.5'	20.2'	30'	F - Fair	95.9	15 Tons	Bridges	Asphalt	Unnamed Stream	1937	2 Lanes	1	Jarbalo Road
H-19	3 Span Prestressed Concrete Girder	24.0'	302.5'	32.0'	G-Good	100.0	None	RS Bridge	Asphalt	Stranger Creek	1938	2	1	Mc Intyre Road
T-58	Single Span Steel Girder Cast-in-Place Abutment	16.0'	29.8'	16.0'	F - Fair	66.6	None	Bridges	Gravel	Trib. to Nine Mile Creek	1940	2	1	250th Street
T-66	Single Span Steel Girder Concrete Abutment	24.8'	22.0'	24.8'	F - Fair	82.0	12 Tons	Bridges	Gravel	Pony Creek	1940	2	1	258th Street
A-16	3 Span Reinforced Concrete Deck Girder (2)	20.3'	126'	20.3'	G-Good	73.8	10 Tons	Bridges	Gravel	Walnut Creek	1950	2	1	251st Street
E-20	Single Span Steel Girder	15.9'	43.5'	15.9'	G-Good	99.0	12 Tons (Not Posted)	Bridges	Gravel	Trib to Stranger Creek	1950	2	1	Third Street
A-4	Double Cell Reinforced Concrete Box	13' TO STR BED	41.0	26.7	F - Fair	78.7	15 Tons	RS Bridge	Asphalt	West Brush Creek	1952	2	2	231st Street
K-14	Tee Beam	24.5'	159.5'	24.5'	F - Fair	55.9	12 Tons	Bridges	Asphalt	Unnamed	1955	2	1	167th Street
K-18	Single Cell Reinforced Concrete Box	25.0'	20.1'	25.0'	F - Fair	73.4	15 Tons	RS Bridge	Asphalt	Unnamed	1955	2	1	167th Street
E-58	3 Span Reinforced Concrete Deck Girder (4)	24.0'	190.0'	Temp Clo	G-Good	76.5	None	RS Bridge	Asphalt	Stranger Creek	1956			Millwood Rd
E-53	Double Cell Reinforced Concrete Box	26.0'	26.0'	40.0	F - Fair	83.3	15 Tons	RS Bridge	Asphalt	Unnamed Stream	1959		2	243rd Street
R-36	Reinforced Concrete Deck Girder & Steel Girder	24.0'	193.0'	24.0'	F - Fair	70.1	None	Bridges	gravel	Trib. to Kansas River	1960	2	1	254th Street
ST-77	Single Span Steel Girder Concrete Abutments	18.8'	31.5'	18.8'	F - Fair	64.8	8 Tons	Bridges	Gravel/Dirt	Trib. to Stranger Creek	1960	2 Lanes	1	188th Street
ST-51	Single Cell Reinforced Concrete Box	26.0'	24.0	27.9	F - Fair	96.7	None	RS Bridge	Asphalt	Unnamed Stream	1962	2	1	206th Street
F-55	3 Span Reinforced Concrete Deck Girder (2)	24.0'	106.5'	24.0'	F - Fair	60.6	15 Tons	Bridges	Asphalt	Wolf Creek	1963	2	1	Metro Avenue
E-10	3 Span Steel Girder	24.0'	184.1	24.0	G-Good	64.3	15 Tons	Bridges	Gravel/Dirt	Stranger Creek	1967	2	2	231st Street
T-50	3 Span Reinforced Concrete Deck Girder (2)	24.0'	94.0'	25.0'	P-Poor	62.6	None	Bridges	Asphalt	Tonganoxie Creek	1967	2	1	Parallel Road
K-11	3 Span Reinforced Concrete Deck Girder (2)	24.5'	109.5'	24.5'	F - Fair	69.2	11 Tons	Bridges	Asphalt	Salt Creek	1968	2	1	Coffin Road
ST-2	Single Span Steel Girder Precast Panel Abutments	23.5'	30.5'	23.5'	F - Fair	59.4	15 Tons	Bridges	Dirt	Trib to Stranger Creek	1968	1	1	205th Street
D-16	Single Span Steel Girder Precast Panel Abutments	15'	28.0'	24.0'	F - Fair	55.8	15 tons	Bridges	Asphalt	Seven Mile Creek	1969	2	1	155th Street
E-17	Single Span Steel Girder Precast Panel Abutments	24'	46.0'	24.0'	G-Good	63.7	15 Tons	Bridges	Gravel	Trib. to Stranger Creek	1970	2	1	231st Street
R-16	Single Span Steel Girder Concrete Abutments	19.5	33.0'	19.5'	F - Fair	60.2	15-20-40 Tons	Bridges	Gravel/Dirt	Trib. to Nine Mile Creek	1970	2 Lanes	1	Hemphill Road
H-36	Single Span Steel Girder Precast Panel Abutments	31.5'	22.0'	31.0'	G-Good	36.7	8 Tons	RS Bridge	Asphalt	Unnamed Stream	1971	Unknown	1	Stranger Road
SH-21	3 Span Reinforced Concrete Deck Girder (2)	24.2'	146.2'	24.0'	F - Fair	70.2	12 Tons	Bridges	Gravel	Trib to Stranger Creek	1971	2	1	198th Street
ST-17	3 Span Reinforced Concrete Deck Girder (2)	24.0	110.0'	24.0'	F - Fair	74.8	15 Tons	Bridges	Asphalt	Trib. to Stranger Creek	1972	2	1	187th Street
A-49	Single Span 30.5' SBMS with Concrete Deck	25.5'	32.5'	26'	G-Good	49.3	10 Tons	RS Bridge	Asphalt	Unnamed Stream	1974	2 Lanes	1	211th Street
A-5	3 Span Steel Girder	20.2'	148.0	20.2	G-Good	85.9	15 Tons	Bridges	Gravel	Stranger Creek	1974	2	1	Lecompton Road
R-50	3 Span Reinforced Concrete Deck Girder (2)	24.0'	133.0'	24.0'	F - Fair	58.2	15 Tons	Bridges	Gravel	Nine Mile Creek	1974	2	1	Loring Road
T-61	3 Span Reinforced Concrete Deck Girder (2)	24.0'	119.5'	24.0'	F - Fair	71.0	None	Bridges	Asphalt	Trib. to Nine Mile Creek	1974	2	1	Evans Road
A-41	Single Span Reinforced Concrete Deck Girder (3)	25.6'	62.0	25.6'	F - Fair	98.0	20 Tons	Bridges	Gravel	South Fork Fall Creek	1975	2	1	219th Street
E-6	Single Span 28'-6" SBMS with Concrete Deck	23.5'	30.0'	24.0'	F - Fair	71.9	16 Tons (Rated at 22 Tons)	Bridges	Gravel	Trib. to Stranger Creek	1975	2 Lanes		St. John's Rd
R-6	Single Span Steel Girder Precast Panel Abutments	23.5'	36.0'	23.5'	G-Good	77.2	13 Tons	Bridges	Gravel/Dirt	Pony Creek	1975	Unknown	1	Hemphill Road
SH-60	Triple Cell Reinforced Concrete Box	30.5'	31.5'	24.5'	G-Good	77.6	None	RS Bridge	Asphalt	Unnamed Stream	1975	2	1	Loring Drive
ST-50	Single Span Steel Girder Precast Panel Abutments	23.0'	30.5'	23.0'	G-Good	68.6	10 Tons	Bridges	Gravel/Dirt	Trib. to Stranger Creek	1975	2 Lanes	1	190th Street
A-36	3 Span Steel Girder	26.0'	208.0'	26.0'	G-Good	92.8	20 Tons	Bridges	Gravel	Stranger Creek	1976	2	1	4-H Road
E-22	Single Span 46.25' SBMS with Concrete Deck	24.0'	48.0'	24.0'	G-Good	63.7	15 Tons (Rated at 18 Tons)	Bridges	Gravel	Trib. to Stranger Creek	1976	2	1	227th Street
ST-32	3 Span Reinforced Concrete Deck Girder (2)	24.0'	110.0'	24.0'	G-Good	85.4	None	Bridges	Gravel	Trib.to Little Stranger Creek	1976	2	1	Donahoo Road
A-20	Single Span Steel Girder Precast Panel Abutments	23.2	35.0'	23.2	G-Good	87.2	None	Bridges	Gravel	Trib. to Fall Creek	1977	Unknown	1	251st Street
A-58	3 Span Steel Girder	24'	183.0'	24.0'	G-Good	88.9	14 Tons	Bridges	Gravel	Stranger Creek	1977	2	1	211th Street
F-52	Double Cell Reinforced Concrete Box	42.3'	41.0'	42.0	G-Good	72.4	None	RS Bridge	Asphalt	Wolf Creek	1979	2	1	Parallel Road

A-23	3 Span Reinforced Concrete Haunched Slab	26.0'	142.5'	26.0'	G-Good	97.1	None	RS Bridge	Gravel	Fall Creek	1980	2	1	235th Street
A-30	Single Span Steel Girder Precast Panel Abutments	24.0'	36.1	24.0'	G-Good	68.7	15 Tons (rated at 19 Tons)	Bridges	Gravel	Trib. to Stranger Creek	1980	2 Lanes	1	219th Street
H-41	3 Span Reinforced Concrete Haunched Slab	26'	113.0'	26.0'	G-Good	94.9	None	Bridges	Gravel	Trib. to Stranger Creek	1980	Unknown	1	Seymour Road
K-8	Single Span Steel Girder Precast Panel Abutments	24.0'	34.5'	24.0'	G-Good	90.7	None	Bridges	Gravel	Trib to Plum Creek	1980	Unknown	1	187th Street
SH-14	Five Span Concrete Slab (Not Haunched)	26.0'	219.5'	24.0'	G-Good	95.9	None	Bridges	Gravel	Stranger Creek	1980	2	1	198th Street
ST-34	Single Span Steel Girder Cast-in-Place Abutments	10'	24'	20'	G-Good	78.8	15 Tons	Bridges less than 20'	Gravel	Unknown	1980	2	1	187th Street
ST-42	3 Span Reinforced Concrete Haunched Slab	24.0'	112.0	23.0	F - Fair	93.7	None	Bridges	Asphalt	Hog Creek	1980	2	1	171st Street
ST-94	3 Span Reinforced Concrete Haunched Slab	26.0'	144.0'	26.0'	G-Good	93.9	None	Bridges	Asphalt	Little Stranger Creek	1980	2	1	Hollingsworth Road
T-43	3 Span Reinforced Concrete Haunched Slab	24.0'	122.0'	24.0'	G-Good	89.1	None	Bridges	Gravel	Tonganoxie Creek	1980	2	1	Mitchell Road
T-70	Single Span Steel Girder Precast Panel Abutment	24.0'	31.5'	24.0'	G-Good	81.4	None	Bridges	Gravel/Dirt	Trib. to Nine Mile Creek	1980	2	1	Honeycreek Road
T-71	Single Span Steel Girder Precast Panel Abutment	24.0'	28.0'	24.0	F - Fair	97.0	None	Bridges	Gravel	Trib. to Pony Creek	1980	2	1	242nd Street
T-73	3 Span Reinforced Concrete Haunched Slab	26.0'	102.5'	26.0'	G-Good	86.7	None	Bridges	Asphalt	Tonganoxie Creek	1980	2	1	Main Street
H-57	3 Span Reinforced Concrete Haunched Slab	26.0'	102.5'	26.0'	F - Fair	98.2	None	Bridges	Gravel	Trib. to Little Stranger Creek	1981	2	1	Stranger Road
K-24	3 Span Reinforced Concrete Flat Slab	24.0'	82.0'	24.0'	G-Good	98.6	None	Bridges	Gravel	Trib to Salt Creek	1981	-	1	187th Street
R-3	3 Span Reinforced Concrete Haunched Slab	26.5'	133.5'	26.5'	G-Good	95.9	None	Bridges	Gravel	Nine Mile Creek	1981	2	1	Dehoff Road
D-34	3 Span Reinforced Concrete Haunched Slab	24.0'	113.0'	24.0'	F - Fair	92.1	20 Tons	Bridges	Gravel	Trib. to Missouri River	1982	2	1	119th Street
A-11	Single Span 29'-2" SBMS with Concrete Deck	24'	30.0'	24.6'	G-Good	85.1	6 Tons (Rated at 27 Tons)	Bridges	Gravel	Walnut Creek	1983	2 Lanes	1	Limit Road
F-11	Single Span Steel Girder Precast Panel Abutments	23.2	31.5	23.2	F - Fair	79.9	None	Bridges	Asphalt	Trib. to Stranger Creek	1983	2	1	Hollingsworth Road
K-10	Single Span Steel Girder Sheet Pile Abutments	23.5'	33.0'	23.5'	G-Good	95.6	None	Bridges	Gravel	Unnamed	1983	-	-	187th Street
K-20	Single Span Steel Girder Sheet Pile Abutments	11'	30.5'	23.5'	F - Fair	94.5	None	Bridges	Gravel	Trib to Salt Creek	1983	2	1	171st Street
ST-44	Girder FloorbeamStringer (Steel)	24.0'	50.0'	24.0	F - Fair	71.7	None	Bridges	Gravel/Dirt	Hog Creek	1983	2	1	Parallel Road
A-40	Single Span Steel Girder Sheet Pile Abutments	23.4'	30.8	23.4'	F - Fair	83.8	20 Tons	Bridges	Gravel	Trib. to Fall Creek	1984	Unknown	1	4-H Road
SH-20	72'-90'-72' Weathering Steel Beam Spans	16.0'	236.0'	26'	G-Good	99.0	15 Tons	Bridges	Gravel/Dirt	Stranger Creek	1984	2	1	198th Street
E-34	Reinforced Concrete Haunched Slab	24.0	153.0'	24.0'	G-Good	94.8	None	Bridges	Gravel	Stranger Creek	1985	2		Roe Rd
E-67	Single Span Steel Girder Sheet Pile Abutments	23.5'	25.5'	23.5	F - Fair	94.6	None	Bridges	Gravel	Trib. to Stranger Creek	1985	N/A	1	Meagher Rd
H-45	3 Span Reinforced Concrete Haunched Slab	24.0'	92.0'	24.0	G-Good	100.0	None	Bridges	Gravel	Trib. to Stranger Creek	1985	2	1	195th Street
K-30	3 Span Reinforced Concrete Haunched Slab	24.0'	95.0'	24.0'	G-Good	98.5	None	Bridges	Gravel	Trib. to Salt Creek	1985	2 Lanes	-	Shawnee Road
R-11	3 Span 30'x40'x30' RCSH	26.0'	102.5'	28'	G-Good	82.3	None	RS Bridge	Asphalt	Pony Creek	1985	2 Lanes	1	247th Street
R-5	3 Span Reinforced Concrete Haunched Slab	24.0'	82.5'	24.0'	G-Good	92.0	None	Bridges	Gravel	Pony Creek	1985	2	1	Dehoff Road
ST-76	Single Span Steel Girder Sheet Pile Abutments	23.5'	30.5'	23.5'	F - Fair	94.5	None	Bridges	Gravel/Dirt	Unnamed	1985	Unknown	1	182nd Street
T-21	Single Span Steel Girder Sheet Pile Abutments	23.5'	31.0'	23.5'	F - Fair	96.0	None	Bridges	Gravel/Dirt	Trib. to Nine Mile Creek	1985	2	1	259th Street
T-54	3 Span Reinforced Concrete Haunched Slab	24.0'	93.0'	24.0'	G-Good	98.5	None	Bridges	Gravel	Trib. to Nine Mile Creek	1985	2	1	State Avenue
A-25	3 Span Reinforced Concrete Haunched Slab	26.0'	103.0	26.0'	G-Good	99.2	None	Bridges	Gravel	Fall Creek	1986	Unknown	1	243rd Street
A-43	3 Span Concrete Double Tee Girder	24.0'	175.5'	24.0'	G-Good	78.4	20 Tons	Bridges	Gravel	Stranger Creek	1986	2	1	211th Street
F-73	Triple Cell Reinforced Concrete Box	24.0'	36.0'	Unknown	F - Fair	93.2	None	Bridges	Asphalt	Trib. to Wolf Creek	1986	2 Lanes	1	150th Street
K-26	3 Span Reinforced Concrete Haunched Slab	28.0'	133.0'	28.0'	F - Fair	95.6	None	RS Bridge	Asphalt	Salt Creek	1986	2		179th Street
R-75	3 Span Reinforced Concrete Haunched Slab	24.0'	83.0'	24.0'	G-Good	99.7	None	Bridges	Gravel/Dirt	Kent Creek	1986	2	1	Alexander Road
SH-54	Single Span 29' SBMS with corrugated Deck	24.0'	30.0'	24.5'	P-Poor	70.4	None	RS Bridge	Asphalt	Trib. to Kansas River	1986	2 Lanes	1	Golden Road
ST-49	3 Span Reinforced Concrete Haunch Slab	24.0'	102.0	26.0'	G-Good	97.8	None	Bridges	Gravel	Trib. to Stranger Creek	1986	2	1	198th Street
ST-91	3 Span Reinforced Concrete Haunched Slab	34.0'	71.0'	34.0'	P-Poor	99.7	None	RS Bridge	Asphalt	Trib. to Tonganoxie Creek	1986	2	1	Evans Road
A-24	Single Span Steel Girder Sheet Pile Abutments	23.7'	30.6'	23.7'	F - Fair	96.0	None	Bridges	Gravel	Trib to Fall Creek	1987	1	1	Ragtown Road
H-49	Single Span Steel Girder Sheet Pile Abutments	23.5'	30.3'	23.5'	F - Fair	93.5	None	Bridges	Gravel	Trib. to Stranger Creek	1987	Unknown	1	Dempsey Road
H-50	Single Span Steel Girder Sheet Pile Abutments	23.5	30.8	23.5	F - Fair	94.5	None	Bridges	Gravel	Trib to Stranger Creek	1987	Unknown	1	Dempsey Road
SH-11	Single Span Steel Girder Sheet Pile Abutments	23.6'	31.0'	23.6'	F - Fair	89.0	None	Bridges	Gravel	Little Kaw Creek	1987	2	1	Stillwell Road
F-53	3 Span Reinforced Concrete Haunched Slab	24.0'	123.0'	24.0'	G-Good	81.8	None	Bridges	Unknown	Wof Creek	1988	2	1	Kansas Ave.
H-40	3 Span Reinforced Concrete Haunched Slab	24.0'	121.5'	24.0'	G-Good	99.2	None	Bridges	Gravel/Dirt	Trib. to Little Stranger	1988	2	1	183rd Street
A-60	Single Span Steel Girder Timber Abutments	17.1'	24.2'	17.1'	G-Good	60.1	20 Tons	Bridges	Gravel	Trib. to Stranger Creek	1989	2 Lanes	1	215th Street
H-47	3 Span Reinforced Concrete Haunched Slab	24.0	93.5'	24.0	G-Good	100.0	None	Bridges	Gravel	Trib. to Stranger Creek	1989	2	1	199th Street
T-12	Single Span Steel Girder Sheet Pile Abutments	24.0'	31.0'	24.0'	F - Fair	95.5	None	Bridges	Gravel /Dirt	Trib. to Tonganoxie Creek	1989	2	1	251st Street
F-43	Double Cell Metal Pipe Arch	26.5	32.5'	0.0	G-Good	100.0	12 Tons	Bridges	Asphalt	Hog Creek	1990	2 Lanes	1	2
A-17	Single Span Steel Girder Sheet Pile Abutments	23.8'	30.8	23.8'	G-Good	96.7	None	Bridges	Gravel	Unnamed Stream	1991	Unknown	1	Limit Road
ST-29	3 Span Reinforced Concrete Haunched Slab	24.0'	123.0'	24.0'	G-Good	100.0	None	Bridges	Gravel	Trib. to Stranger Creek	1991	2	1	179th Street
ST-3	30'x8'x24' RCB	8'	24'	30'	G-Good	N/A	None	Bridges less than 20'	Gravel	Unknown	1991	1	1	208th Street
T-69	3 Span Reinforced Concrete Haunched Slab	28.0'	143.5'	28.0'	G-Good	98.7	None	RS Bridge	Asphalt	Nine Mile Creek	1992	2	1	246th Street
K-9	30'x40'x30' Concrete	32.0'	123.0'	32.0'	G-Good	97.1	None	Bridges	Asphalt	Salt Creek	1993	2		Santa Fe Trail

R-21	3 Span Reinforced Concrete Haunched Slab	24.0'	133.0'	24.0'	G-Good	100.0	None	Bridges	Gravel/Dirt	Nine Mile Creek	1993	2	1	234th Street
ST-52	3 Span Reinforced Concrete Haunched Slab	28.0'	143.0'	28.0'	G-Good	91.2	None	RS Bridge	Asphalt	Tonganoxie Creek	1994	2	1	206th Street
ST-85	3 Span Reinforced Concrete Haunched Slab	30.0'	143.0'	30.0'	G-Good	94.8	None	RS Bridge	Asphalt	Tonganoxie Creek	1995	2	1	Evans Road
ST-87	3 Span Prestressed Concrete Beam (Continuous)	30.0'	251.5'	30.0'	G-Good	89.1	None	RS Bridge	Asphalt	Stranger Creek	1995	2	1	Evans Road
ST-18	3 Span Prestressed Concrete	24.0'	231.0'	24.0'	G-Good	100.0	None	Bridges	Gravel	Stranger Creek	1999	2	1	Leavenworth Road
T-39	Single Span Steel Girder Sheet Pile Abutments	23.7'	350.0'	23.7'	F - Fair	96.4	None	Bridges	Gravel	Jarbalo Creek	2001	2	1	227th Street
R-15	Single Span Steel Girder Sheet Pile Abutments	27.5'	39.0'	27.5'	F - Fair	97.4	None	Bridges	Asphalt	Pony Creek	2002	2	1	243rd Street
T-42	Single Span Steel Girder Sheet Pile Abutments	27.5'	31.0'	27.5'	G-Good	97.9	None	Bridges	Gravel/ Dirt	Tonganoxie Creek	2003	2	1	Mitchell Road
T-59	2 Span 10' CMP	21.3'	31.0'	28.0'	G-Good	82.0	None	Bridges	Gravel	Trib. to nine Mile Creek	2004	2 Lanes	1	246th Street
T-24	3 Span Reinforced Concrete Haunched Slab	32.0'	117.8'	32.0'	G-Good	99.7	None	RS Bridge	Asphalt	Tonganoxie Creek	2005	2	1	235th Street
H-52	3 Span 42'x56'x42' RCSH	N/A	143.0'	34.0'	G-Good	98.4	None	RS Bridge	Asphalt	Little Stranger Creek	2008	2 Lanes	1	Dempsey Road
E-45	3 Span Reinforced Concrete Deck Girder	32.0'	183.0'	32.0'	G-Good	99.9	15 Tons	RS Bridge	Asphalt	Buttermilk Creek	2009	2	2	243rd Street
R-43	Double Cell Reinforced Concrete Box	36.0'	33.0'	36.0'	G-Good	99.2	None	RS Bridge	Asphalt	Cow Creek	2009	2 Lane	1	222nd Street
R-46	3 Span Steel Girder	36.0'	223.0'	36.0'	G-Good	99.5	None	RS Bridge	Asphalt	Nine Mile Creek	2009	2	1	222nd Street
R-47	2 Span 10'x14' RFB	36.0'	28.7'	36.0'	G-Good	99.2	None	Bridges	Asphalt	Unnamed Creek	2009	2 Lanes	1	222nd Street
R-66	2 Span 10'x14' RFB	36.0'	28.8'	36.0'	G-Good	99.2	None	Bridges	Asphalt	Cow Creek	2009	2 Lanes	1	222nd Street
ST-48	3 Span Steel Girder	26.0'	208.0'	26.0'	G-Good	74.7	None	RS Bridge	Asphalt	Stranger Creek	2009	2	1	Dempsey Road
F-8	Single Span Steel Girder Cast in Place Abutments	26.5'	32.4'	26.5'	G-Good	98.9	12 Tons	Bridges	Asphalt	Trib. to Stranger Creek	2012	2 Lanes	1	163rd Street
ST-15	3 Span 48'x64'x48' RCSH	30.0'	163.0'	32.0'	G-Good	97.4	None	RS Bridge	Asphalt	Stranger Creek Overflow	2012	2 Lanes	Unknown	Tonganoxie Road
ST-33	4 Span Steel Girder	32.0'	363.0'	32.0'	G-Good	97.4	None	RS Bridge	Asphalt	Stranger Creek	2012	2	1	Tonganoxie Drive
F-10	3 Span Reinforced Concrete Haunched Slab	24.0'	82.5'	24.0'	F - Fair	100.0	None	Bridges	Gravel/Dirt	Trib. to Little Stranger	2013	2	1	171st Street
H-25	3 Span Reinforced Concrete Haunched Slab	28.0'	102.5'	28.0'	G-Good	100.0	None	Bridges	Gravel	Trib. to Little Stranger	2014	2	1	High Prairie Road
ST-1	Single Span Steel Girder	28.0'	73.0'	28.0'	G-Good	91.3	None	Bridges	Asphalt	Jarbalo Creek	2014	2	1	207th Street
ST-43	3 Span Reinforced Concrete Haunched Slab	28.0'	122.5'	28.0'	G-Good	99.9	None	RS Bridge	Gravel/Dirt	Trib. to Stranger Creek	2014	2	1	178th Street
A-32	3 Span Reinforced Concrete Haunched Slab	24.0'	162.5'	32.0'	G-Good	99.9	None	RS Bridge	Asphalt	Walnut Creek	2017	2	1	231st Street
SH-15	2 Span 16'x16' RFB	16.0'	32.9'	20.0'	G-Good	89.9	None	Bridges	Gravel	Trib. to Stranger Creek	2017	2	1	Stillwell Road
H-17	Single Span Steel Girder Cast-in-Place Abutments	19.5'	41.2'	24.2'	G-Good	94.4	None	Bridges	Gravel	Rock Creek	2019	Unknown	1	207th Street
SH-22	3 Span Reinforced Concrete Haunched Slab	32.0'	182.5'	32.0'	G-Good	100.0	None	Bridges	asphalt	Nine Mile Creek	2021	2	1	206th Street
SH-30	Single Span Steel Girder Sheet Pile Abutments	28.5'	50.0'	29.0'	G-Good	92.3	None	RS Bridge	Asphalt	Kaw Creek	2021	2	1	158th Street
E-18	3 Span Reinforced Concrete Haunched Slab	24.5'	122.5'	32.0'	G-Good	100.0	None	RS Bridge	Asphalt	Dawson Creek	2022	2	N/A	231rd Street
F-46	Single Span Steel Girder Cast-in-Place Abutments	23.2'	45.0'	28.0'	G-Good	99.9	27-43-43 Tons	Bridges	Asphalt	Hog Creek	2022	2	1	166th Street
K-45	Single Span Steel Girder Sheet Pile Abutments	19.0'	40.0'	28.5'	G-Good	98.0	None	Bridges	Gravel	Trib. to Plum Creek	2022	2 Lanes	1	187th Street
E-48	Single Span Steel Girder Cast-in-Place Abutments	20.5'	32.0'	28.0'	G-Good	99.9	None	Bridges	Gravel	Dawson Creek	2023	2	1	255th Street
ST-100	3 Span 39'x52'x39' RCSH	28.0'	102.5'	32.0'	G-Good	98.4	None	RS Bridge	Asphalt	Little Stranger Creek	2023	2	1	Fairmount Road
T-34	Single Span Steel Girder Sheet Pile Abutments	24.2'	50.0'	28.0'	G-Good	99.7	None	Bridges	Gravel	Jarbalo Creek	2024	2	1	219th Street
ST-26	3 Span 33'x44'x33' RCSH	27'	132.5'	32.0'	G-Good	99.9	None	RS Bridge	Asphalt	Little Stranger Creek	2025	2 Lanes	1	Fairmount Road
K-19	3 Span 42'x56'x42' RCSH	32.0'	142.5'	32.0'	G-Good	100.0	None	RS Bridge	Asphalt	Salt Creek	2026	2		179th Street
SH-61	Triple Cell Reinforced Concrete Box	29.6'	31.3'	24.0'	G-Good	100.0	None	RS Bridge	Asphalt	Unnamed Stram	2026	2	1	Golden Road
T-77	3 Span 39'x52'x39' RCSH	30.0'	133.0'	52'	G-Good	82.6	Transferred to City of Tonganoxie							

2024

## Bridge Approach Maintenance

<b>Bridge Number</b>	<b>Approximate Location</b>
K-9	Intersection of Santa Fe Trail & 167th St.
E-45	On Rt. 13 between Potter & Millwood
K-26	Intersection of Rt. 33 & Rt. 20
HP-52	On Rt. 5 between Rt. 29 & Rt. 8
ST-100	On Fairmount east of Rt. 19
T-69	On 246th St. just before Honey Creek
R-11	On Rt. 27 just south of Hemphill
R-15	243rd St.
ST-42	On 171st St. just north of Parallel
T-24	On Rt. 30 just south of Keller Rd.
F-33	On 166th St. between Evans Rd. & Dwyer
F-55	On Kansas Ave just east of I-70
K-14	On 167th St. between Coffin & Hildebrandt
A-61	Intersection of 231st St. & 92 Hwy
ST-91	On Rt. 6 between 198th St. & 206th St.
ST-87	Intersection of Rt. 6 & 190th St.
ST-52	On 206th St. just south of Rt. 6
SH-22	On 206th St. just south of Loring
T-73	On 218th between Parallel & 24/40
T-61	On Evans Rd. just west of 253rd
HP-19	On Rt. 10 just east of 208th St.
ST-85	On Rt. 6 between 206th St & 214th St.
K-11	On Coffin Rd. between 159th & 167th
E-18	On Rt. 21 between Shawnee & 192 Hwy
ST-33	On Rt. 5 just north of Mitchell Rd.
ST-15	On Rt. 5 west of Danahoo
ST-48	On Rt. 8 just west of 195th St.

